

CLIENT NAME RESIDENCE

ADDRESS, SUBURB



NOTE: ARTISTIC
IMPRESSION ONLY

HUDSON RIDGE
BUILDERS

HUDSON RIDGE BUILDERS
102 FUSSELL STREET, BALLARAT EAST
127 MARSHALLTOWN RD, GROVEDALE
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w: hudsonridge.com.au
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COVER SHEET

CLIENT NAME: CLIENT NAME

PROJECT ADDRESS: ADDRESS,
SUBURB

DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	
SITE COVERAGE:	XX.X%	

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	*ISSUE DATE*	*MANUAL TEXT* CONCEPT DESIGN ETC	DATE: 11/10/2024	SOIL CLASSIFICATION - "TBC"
			DRAWN BY: S A	WIND CLASSIFICATION - "TBC"
			CHECKED BY:	DRAWING NUMBER: 1 OF 21
				PRINTED SHEET SIZE: A3

GENERAL NOTES

BUILDING NOTES.
NCC(CURRENT) BCA 2022 VOLUME 2
GENERAL

1. LEVELS RELATED THE GROUND LEVELS ARE APPROXIMATE ONLY & ARE TO BE CHECKED & VERIFIED ON SITE BY THE BUILDER PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSION.
2. REQUIRED FILL & COMPACTION TO BE IN ACCORDANCE WITH AS2870. ALL UNREINATED BATTERS/EARTHWORKS ARE TO COMPLY WITH PART 3.2.1 OF THE ABCB HOUSING PROVISIONS.
3. ALL WORKS INCLUDING BRICKS, BRICKWORK, CONCRETE SLABS & FOOTINGS SHALL COMPLY WITH THE REQUIREMENTS OF THE RELEVANT AUSTRALIAN STANDARDS.
4. ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO, THE BUILDING REGULATIONS 2018, NATIONALCONSTRUCTION CODE CURRENT SERIES BUILDING CODE OF AUSTRALIA VOL 2 AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS (AS AMENDED) REFERRED TO THEREIN.
5. UNLESS OTHERWISE SPECIFIED, THE TERM BCA SHALL REFER TO NATIONAL CONSTRUCTION CODE CURRENT SERIES BUILDING CODE OF AUSTRALIA VOLUME 2.
6. ALL MATERIALS AND CONSTRUCTION PRACTICE SHALL MEET THE PERFORMANCE REQUIREMENTS OF THE BCA. WHERE A PERFORMANCE SOLUTION IS PROPOSED, THEN, PRIOR TO IMPLEMENTATION OR INSTALLATION IT MUST BE ASSESSED AND APPROVED BY THE RELEVANT BUILDING SURVEYOR AS MEETING THE PERFORMANCE REQUIREMENTS OF THE BCA.
7. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY HOUSE ENERGY RATING (HERS) REPORT AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STAMPED PLANS ENDORSED BY THE ACCREDITED THERMAL PERFORMANCE ASSESSOR WITHOUT ALTERATION.
8. ALL STEPS AS REQUIRED DUE TO SITE CONDITIONS ARE TO BE IN ACCORDANCE WITH AS 3786 WITH BCA PART 11.2
STEP SIZES (OTHER THAN FOR SPIRAL STAIRS) TO BE:
- RISERS (R) 190mm MAXIMUM AND 115mm MINIMUM
- GOING (G) 355mm MAXIMUM AND 240mm MINIMUM
- 2R + 1G = 700mm MAXIMUM AND 550mm MINIMUM
- WITH LESS THAN 125mm GAP BETWEEN OPEN TREADS, ALL TREADS, LANDINGS AND THE LIKE TO HAVE A SLIP-RESISTANCE CLASSIFICATION OF P3 OR R10 FOR DRY SURFACE CONDITIONS AND P4 OR R11 FOR WET SURFACE CONDITIONS. OR A NOSING STRIP WITH A SLIP RESISTANCE CLASSIFICATION OF P3 FOR DRY SURFACE CONDITIONS AND P4 FOR WET SURFACE CONDITIONS.
PROVIDE BARRIERS WHERE CHANGE IN LEVEL EXCEEDS 1000mm ABOVE THE SURFACE BENEATH LANDINGS, RAMPS AND/OR TREADS. BARRIERS (OTHER THAN TENSIONED WIRE BARRIERS) TO BE:
- 1000mm MIN ABOVE FINISHED SURFACE LEVEL OF BALCONIES, LANDINGS OR THE LIKE, AND
- 870mm MIN. ABOVE FINISHED SURFACE LEVEL OF STAIR NOSING OR RAMP AND
- VERTICAL WITH LESS THAN 125mm GAP BETWEEN. AND
- A BARRIER, EXCEPT A WINDOW SERVING AS A BARRIER MUST BE DESIGNED TO TAKE LOADING FORCES IN ACORDANCE WITH AS/NZS 1170.1
- CONTINUOUS HANDRAILS TO BE CONSTRUCTED ON ONE SIDE OF THE FLIGHT OF THE STAIRCASE, LOCATED ALONG THE FULL LENGTH OF THE FLIGHT OF STAIRWAYS AND FIXED AT A HEIGHT OF 865mm VERTICALLY ABOVE NOSING OF THE STAIRS TREADS, HAVE NO OBSTRUCTIONS AND CONSTRUCTED IN ACCORDANCE WITH PART 11.3.5 OF THE ABCB HOUSING PROVISIONS.
- WHERE BARRIERS ARE FIXED TO THE VERTICAL FACE FORMING AN EDGE OF A LANDING, BALCONY, DECK, STAIRWAY OR THE LIKE, THE OPENING FORMED BETWEEN THE BARRIER AND THE FACE MUST NOT EXCEED 40mm IN ACCORDANCE WITH PART 11.3.4 OF THE ABCB HOUSING PROVISIONS.
9. IN ACCORDANCE WITH PART 8.4.6 OF THE ABCB HOUSING PROVISIONS, IF A FIXED VANITRY/BENCH/CABINETS IN FRONT OF MIRRORS & SPLASH BACKS **DO NOT** ACHIEVE THE FOLLOWING DIMENSIONS, MONOLIHTIC ANNEALED GLASS **CANNOT BE USED:**
- NOT LESS THAN 760mm IN HEIGHT, DEPTH NOT LESS THAN 300mm AND EXTENDING THE FULL WIDTH OF THE SPLASHBACK/MIRROR
10. WHERE THE BUILDING (EXCLUDES A DETACHED CLASS 10) IS LOCATED IN A TERMITE PRONE AREA, THE BUILDING IS TO BE PROVIDED WITH A TERMITE MANAGEMENT SYSTEM.
11. STORMWATER
100mm DIA. CLASS 6 UPVC SEALED/CHARGED STORMWATER LINE LAID TO A MINIMUM GRADE OF 1:100 AND CONNECTED TO NOMINATED RAINWATER TANKS WITH THE OVERFLOW DIRECTED TO LEGAL POINT OF STORMWATER DISCHARGE. PROVIDE INSPECTIONOPENINGS AT 9000mm C/C AND AT EACH CHANGE OF DIRECTION. THE COVER TO UNDERGROUND STORMWATER DRAINS SHALL BE NOT LESS THAN
- 100mm UNDER SOIL
- 50mm UNDER PAVED OR CONCRETE AREAS
- 100mm UNDER UNREINFORCED CONCRETE OR PAVED DRIVEWAYS
- 75mm UNDER UNREINFORCED CONCRETE DRIVEWAYS
DOWNPIPES MUST NOT SERVE MORE THAN 12M OF GUTTER LENGTH IN ACCODANCE WITH PART 7.4 OF THE ABCB HOUSING PROVISIONS, BOX GUTTERS, RAINHEADS & SUMPS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3500.3-2021. TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR FOOTINGS. ALL STORMWATER TO BE TAKEN TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.

12. BUILDINGS IN MARINE, OR EXPOSURE ENVIRONMENTS SHALL HAVE MASONRY UNITS, MORTAR AND ALL BUILT IN COMPONENTS AND THE LIKE COMPLYING WITH THE DURABILITY REQUIREMENTS OF TABLE 4.1 OF AS 4773.1-2015 'MASONRY IN SMALL BUILDINGS' PART 1: DESIGN.
13. CLASS 3 OR CLASS 4 VAPOUR PERMEABLE MEMBRANES ARE TO BE INSTALLED TO ALL EXTERNAL WALLS, INCLUDING IN FILLS ABOVE WINDOWS & DOORS TO BE COMPLIANT WITH AS 4200.1 & TO BE INSTALLED IN ACCORDANCE WITH AS4200.2
HUDSON RIDGE USES TradeSelect VAPOUR PERMEABLE WALL INSULATION
14. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT.
15. THE BUILDER SHALL TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY AND GENERAL WATER TIGHTNESS OF ALL NEW AND/OR EXISTING STRUCTURES DURING ALL WORKS.
16. THE BUILDER AND SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS AND SPECIFICATIONS AND ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORKS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
17. INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
18. THE BUILDER AND SUBCONTRACTOR SHALL ENSURE THAT ALL STORMWATER DRAINS, SEWER PIPES AND THE LIKE ARE LOCATED AT A SUFFICIENT DISTANCE FROM ANY BUILDINGS FOOTINGS AND/OR SLAB EDGE BEAMS SO AS TO PREVENT GENERAL MOISTURE PENETRATION DAMPNESS, WEAKENING AND UNDERMINING OF ANY BUILDING AND ITS FOOTING SYSTEM.
19. THESE PLANS HAVE BEEN PREPARED FOR THE EXCLUSIVE USE BY THE CLIENT (THE BUILDER - 'HUDSON RIDGE') FOR THE PURPOSE EXPRESSLY NOTED TO THE DESIGNER. ANY OTHER PERSON WHO USES OR RELIES ON THESE PLANS WITHOUT THE DESIGNERS WRITTEN CONSENT DOES SO AT THEIR OWN RISK AND NO RESPONSIBILITY IS ACCEPTED BY THE DESIGNER FOR SUCH USE AND/OR RELIANCE.
20. A BUILDING PERMIT IS REQUIRED PRIOR TO THE COMMENCEMENT OF THESE WORKS. THE RELEASE OF THESE DOCUMENTS IS CONDITIONAL TO THE OWNER OBTAINING THE REQUIRED BUILDING PERMIT.
21. THE CLIENT AND/OR THE CLIENTS BUILDER SHALL NOT MODIFY OR AMEND THE PLANS WITHOUT THE KNOWLEDGE AND CONSENT OF HUDSON RIDGE DRAFTING DEPARTMENT EXCEPT WHERE A REGISTERED BUILDING SURVEYOR MAKES MINOR NECESSARY CHANGES TO FACILITATE THE BUILDING PERMIT APPLICATION AND THAT SUCH CHANGES ARE PROMPTLY REPORTED BACK TO HUDSON RIDGE DRAFTING DEPARTMENT.
22. THE APPROVAL BY THIS OFFICE OF A SUBSTITUTE MATERIAL, WORK PRACTICE, VARIATION OR THE LIKE, IS NOT AN AUTHORISATION FOR ITS USE OR A CONTRACT VARIATION. ALL VARIATIONS MUST BE ACCEPTED BY ALL PARTIES TO THE AGREEMENT AND WHERE APPLICABLE THE RELEVANT BUILDING SURVEYOR PRIOR TO IMPLEMENTING ANY VARIATION.
23. SOLAR PANELS ARE TO BE FOR HWS UNLESS OTHERWISE NOTED OR SHOWN BY HUDSON RIDGE.
24. IN ACCORDANCE WITH PART 10.8.2 OF THE HOUSING PROVISIONS, ALL EXHAUST FANS FLOOR RATES AND DISCHARGE:
MIN: 25L/s FOR BATHROOMS OR SANITARY COMPARTMENTS
MIN: 40L/s FOR KITCHEN AND LAUNDRY
ALL EXHAUST FANS FROM KITCHEN, KITCHEN RANGE HOOD, BATHROOMS, SANITARY COMPARTMENTS & LAUNDRIES TO DISCHARGE DIRECTLY TO OUTDOOR AIR.
25. WATER PROOFING TO BE IN ACCORDANCE WITH PART 10.2 OF THE ABCB HOUSING PROVISIONS.
26. BUSHFIRE ASSESMENT: REFER BUSH FIRE ASSESMENT DOCUMENT
CONSTRUCTION IN BUSHFIRE PRONE AREAS IN ACCORDANCE WITH AS3959 - 2018.
27. SITE CLASSIFICATION: REFER TO ENGINEERS SOIL REPORT.
28. CORROSION PROTECTION OF BUILT-IN STRUCTURAL MEMBERS:
PROVIDE CORROSION PROTECTION OF BUILT-IN STRUCTURAL STEEL MEMBERS SUCH AS STEEL LINTELS, SHELF ANGLES, CONNECTORS ACCESSORIES (OTHER THAN WALL TIES) IN ACCORDANCE WITH TABLE 4.1 OF AS 4773.1 - 2015 MASONRY IN SMALL BUILDINGS, PART 1: DESIGN
SUITABLE FOR AN ENVIRONMENT CLASSIFICATION OF : MILD 4.3.2 CORROSION PROTECTION FOR SHEET ROOFING PROVIDE CORROSION PROTECTION FOR SHEET ROOFING IN ACCORDANCE WITH BCA TABLE 7.2.2.A
STRUTURAL STEEL MEMBERS THAT ARE NOT BUILT IN TO A A MASONRY WALL MUST-
(a) BE PROTECTED AGAINST CORROSION IN ACCORDANCE WITH TABLES 6.3.9a, 6.6,9b & 6.3.9c: AND (b)
WHERE A PAINT FINISH IS APPLIED TO THE SURFACE, BE FREE FROM RUST; AND (c) WHERE ZINC COATINGS ARE APPLIED TO THE SURFACE, BE PROVIDED WITH A BARRIER COAT TO PREVENT DOMESTIC ENAMELS FROM PEELING; AND (d) WHEN CUT OR WELFED ON-SITE, HAVVE THOSE AREAS AND ANY OTHER AREAS OF DAMAGE TO PROTECTIVE COATINGS COMPLY WITH (a).

29. SANITARY COMPARTMENTS WITH LESS THAN 1200mm BETWEEN CLOSET PANS & DOORWAYS , SHALL HAVE EITHER -
a) A DOOR OPENING OUTWARDS
b) A CAVITY SLIDING DOOR
c) A DOOR FITTED WITH LIFT OFF HINGESj
30. SMOKE DETECTORS TO BE INSTALLED IN ACCORDANCE WITH AS 3786 AND COMPLY WITH PART9.5 AS REFERENCED IN BCA 2022. ALL SMOKE DETECTORS TO BE HARDWIRED & INTERCONNECTED
31. ALL BRICKWORK TO COMPY WITH AS. 3700 (WHERE USED)
1:1:6 MORTAR, WEEPHOLES EVERY 4TH PERP ON THE FIRST COURSE LEAR OF FINISHED GROUND LEVEL, METAL WALL TILES TO AS. 2699 PACAED AT 460mm HORIZONTALLY AND 610mm VERTICALLY
32. IF BUILDNG IN A TERMITE PRONE AREA THE BUILDING (EXCLUDING A DETACHED CLASS 10) THE AREA TO THE UNDERSIDE OF THE BUILDING AND PERIMETER IS TO BE TERMITE TREATED
33. SUPPLY & INSTALLATION OF ALL LIGHTWEIGHT MATERIALS & CLADDINGS TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAIL
34. REFER TO THE THERMAL PERFORMANCE ASSESMENT FOR ALL INSULATION MATERIAL & GLAZING REQUIREMENTS ALL NOMINATED MATERIAL PRODUCTS MUST BE INSTALLED IN STRICT ACCORDANCE THE THE FINAL 6 STAR CERTIFICATE
- CONCRETE SLABS/FOOTINGS
1. ALL CONCRETE TO HAVE A STRENGTH OF 20MPa
2. ALL SLAB, BEAM & FOOTING CONCRETE REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS A.S. 2870. 1-2011
3. LAPPING AND SUPPORT OF REINFORCEMENT TO BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AS NOTED ABOVE.
4. ALLOWABLE BEARING PRESSURE OF SOIL UNDER STRIP OR PAD FOOTINGS - 100 KPa
UNDER SLABS OR BEAMS - 50 KPa
5. POLYTHENE MEMBRANE TO BE LAPPED A MINIMUM OF 200mm AT JOINTS & SHALL BE TAPED AROUND PIPES WHICH PENETRATE THE SLAB.
6. TOP-SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED FROM THE SURROUNDING AREA.
7. SURFACE WATER MUST BE DIVERTED AWAY FROM CLASS 1 BUILDINGS IN ACCORDANCE WITH PART 3.3.3 OF THE ABCB HOUSING PROVISIONS AS FOLLOWS:
a) SLAB ON GROUND-FINISHED GROUND SLAB HEIGHTS: - THE EXTERNAL FINISHED SURFACE SURROUNDING THE SLAB MUST BE DRAINED TO MOVE SURFACE WATER AWAY FROM THE BUILDING AND GRADED TO GIVE A SLOPE OF NOT LESS THAN 50mm OVER FIRST 1m.
b) SLAB ON GROUND-FINISHED SLAB HEIGHTS: - THE HEIGHT OF THE SLAB ON GROUND ABOVE EXTERNAL FINISHED SURFACES MUST NOT BE LESS 50mm ABOVE IMPERMEABLE (PAVED OR CONCRETED AREAS) THAT SLOPE AWAY FROM THE BUILDING IN ACCORDANCE WITH
- THE HEIGHT OF THE SLAB ON GROUND ABOVE EXTERNAL FINISHED SURFACES IN LOW RAIN INTENSITY AREAS OR SANDY, WELL-DRAINED AREAS MUST BE NOT LESS THAN THE SLOPE AWAY
- 150mm IN ANY OTHER CASE
CONCRETE SLAB TO ENGINEERS DESIGN
- WINDOWS & GLAZED DOORS & GLAZING IN GENERAL
-GLASS IN A BUILDING MUST BE IN ACCOARDANCE WITH AS 1288:2021
1. ALL EXTERNAL WINDOWS AND GLAZED DOORS TO BE ALUMINIUM FRAMED UNLESS OTHERWISE NOTED AND IN ACCORDANCE WITH AS 2047 - 2014.
2. WINDOWS & GLASS SLIDING DOORS ARE TO BE CENTERED TO ROOM UNLESS OTHERWISE NOTED.
3. IN ACCORDANCE WITH PART 8.4.8 OF THE ABCB HOUSING PROVISIONS, ALL SAFETY GLAZING MUST BE MARKED IN FORM OF PERMANENT ETCHING OR A LABEL THAT CANNOT BE REUSED ONCE REMOVED. THE LABEL MUST SPECIFY THE FOLLOWING:
. THE AUSTRALIAN STANDARD TO THE SAFETY GLASS WAS TESTED
. REGISTERED NAME OF THE MANUFACTURER OR SUPPLIER
. GRADE OF SAFETY GLASS
. NOMINAL THICKNESS OF THE SAFETY GLASS & THE TYPE OF SAFETY GLASS
4. GLAZING IN KITCHENS, BATHROOMS, ENSUITES, SHOWER SCREENS BATH ENCLOSURES AND ANY WINDOWS & DOORS (INCLUDING CABINET DOORS), WHERE THE LOWEST SIGHT LINE IS LESS THAN 2M (INCLUDING BOTTOM OF BATH OR SHOWER BASE) WILL HAVE GRADE A SAFETY GLASS IF FRAMED PANELS & PANELSOR DOORS WITH EDGES EXPOSED, WILL BE A MIN.6mm TOUGHENED SAFETY GLASS IN ACCORDANCE WITH PART 8.4.6 OF THE ABCB HOUSING PROVISIONS
5. GLAZING IN KITCHENS, BATHROOMS, ENSUITES, SHOWER DOORS, SHOWER SCREENS BATH ENCLOSURES & ANY WINDOWS & DOORS (INCLUDING CABINET DOORS), WHERE THE LOWEST SIGHT LINE IS LESS THAN 2M(INCLUDING BOTTOM OF BATH OR SHOWER BASE) WILL HAVE GRADE A SAFETY GLASS IF FRAMED PANELS & PANELS OR DOORS WITH EDGES EXPOSED, WILL BE A MIN. 6mm TOUGHENED SAFETY GLASS IN ACCORDANCE WITH PART 8.4.6 OF THE ABCB HOUSING PROVISIONS.
6. SAFETY GLAZING SHALL BE USED IN THE FOLLOWING CASES:-
a) ALL ROOMS - WITHIN 500mm OF VERTICAL FLOOR
b) BATHROOMS - WITHIN 2000mm VERTICAL OF BATH BASE & ENSUITES WITHIN 2000mm HORIZONTAL OF BATH/SHOWER TO SHOWER DOORS, SHOWER SCREENS & BATH ENCLOSURES
c) LAUNDRY - WITHIN 1200mm VERTICAL OF FLOOR & WITHIN 300mm VERTICAL OF TROUGH d) DOORWAYS - WITHIN 300mm HORIZONTAL OF ALL DOORS
7. GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE TYPE AND THICKNESS SO AS TO COMPLY WITH BCA/NCC PART 8 FOR CLASS 1 & 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3 AS PER AS 1288-2021 AND BCA 2022/ABCB HOUSING PROVISIONS

- ROOF STRUCTURE
1. ROOF STRUCTURE TO BE DESIGNED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN SITE REPORT
2. CEILING BATTENS TO BE 25mm 'TOP-HAT' SECTION
3. ROOFING MATERIAL AS NOTED ON ELEVATIONS & PLAN
4. REFER TO BUILDING CONTRACTS FOR DOWNPIPE SPECIFICATIONS
5. BE IN ACCORDANCE WITH AS/NZS 3500.3.2021

COLORBOND - CUSTOM ORB SHEET ROOF ABOVE 5 DEGREE ROOF PITCH
- KLIP LOK OR TRIMDECK BELOW 5 DEGREES
FIXED TO TOP HAT ROOF BATTENS @ 900CTRS ON TIMBER TRUSSES @900CTRS BRACE & TIE DOWN TO MANUFACTURERS SPECIFICATION - MNUFACTURER TO SUPPLY COMPUTATIONS & DETAILS TO BUILDING SURVEYOR

- WALL FRAMING
1. FOR STRUCTURAL DETAILS AS 1684.2 2021 TIMBER FRAMING DESIGN MANUAL
2. FOR ACTUAL CONFIGURATION & RACKING CAPACITY OF EACH TYPE OF BRACED PANEL REFER TO THE AS 1684.2010 TIMBER FRAMING MANUAL
3. WALL FRAMES DESIGNED & CONSTRUCTED IN ACCORDANCE WITH WIND LOADING AS SPECIFIED IN SITE REPORT ASSESSMENT
ROOF , WALL FRAMING- & LINTELS ARE TO BE PRE-FABRICATED BY FRAMING MANUFACUTERS TO RELEVANT AUSTRALIAN STANDARDS- MANUFACTURER TO SUPPLY OWNER & BUILDING SURVEYOR SPECIFICATIONS

SITE FEATURES AND LEVELS TO BE CONFIRMED PRIOR TO CONSTRUCTION WORKS COMMENCEMENT

AUTHORITIES / CONSULTANTS:

MUNICIPALITY - CITY OF GREATER GEELONG / SURF COAST SHIRE / CITY OF BALLARAT
SEWERAGE AUTHORITY - BARWON WATER CENTRAL HIGHLANDS WATER
RELEVANT BUILDING SURVEYOR - SAM CLARK (INFORM BUILDING PERMITS)
CONSULTING TOWN PLANNER - NON APPLICABLE
CONSULTING STRUCTURAL ENGINEER - STRUCTERRE
GEOTECHNICAL ENGINEER - STRUCTERRE
THERMAL PERFORMANCE ASSESSOR - GREG O'BEIRNE

RESCODE REQUIREMENTS:
PART 5: SITING

75 BUILDING HEIGHT
REFER TO ELEVATIONS FOR OVERALL HEIGHT
(THE OVERALL HEIGHT = LESS THAN 7.5m/9m MAX. DEPENDING ON AREA) REFER TO SITE PLAN

76 SITE COVERAGE
SITE AREA = REFER TITLE PANEL
TOTAL BUILDING FOOTPRINT = REFER TITLE PANEL
REFER TITLE PANEL FOR SITE COVERAGE
(MAX 60% OF ALLOTMENT AREA)

77 PERMEABILITY
REFER TO TITLE PANEL FOR SITE/HOUSE
ALLOW MIN. 20% AREA OF IMPERVIOUS SURFACE

78 CARPARKING
REFER DRAWINGS ON THIS PAGE FOR PROPOSED CAR
SPACE LOCATIONS AND SIZES

79 SIDE AND REAR SETBACKS
REFER TO DRAWING ON THIS PAGE FOR PROPOSED RESIDENCE SETBACKS FROM BOUNDARIES. REFER TO ELEVATIONS FOR SETBACK WALL HEIGHT
RELATIONSHIP. (PARAPET WALL HEIGHT LESS THAN OR EQUAL TO 3.2m MAXIMUM ALLOWABLE ENCROACHMENT INTO SETBACK DISTANCE)

80 WALLS ON BOUNDARIES
INCLUDING WALLS ON OR WITHIN 200mm OF BOUNDARY
MAXIMUM LENGTH ALLOWABLE 10m (UNO BY RESTRICTIVE COVENANT) PLUS 25% OF REMAINING

81 DAYLIGHT TO EXISTING HABITABLE ROOM WINDOWS
REFER TO THE DRAWING ON THIS PAGE FOR THE LOCATION OF EXISTING HABITABLE ROOM WINDOWS ON ADJACENT ALLOTMENTSAND THE SETBACK DISTANCE OF THE PROPOSED RESIDENCE FROM THESE WINDOWS

82 SOLAR ACCESS TO EXISTING NORTH FACING WINDOWS
REFER TO THE DRAWING ON THIS PAGE FOR THE LOCATION OF EXISTING NORTH FACING WINDOWS ON ADJACENT ALLOTMENTS WITHIN 3m OF THE ALLOTMENT BOUNDARY AND THE PROPOSED SETBACK TO THE NEW RESIDENCE FROM THESE WINDOWS

84 OVERLOOKING
(APPLICABLE ONLY IF THE HEIGHT OF THE FLOOR IS 800mm ABOVE NATURAL SURFACE LEVEL AT THE BOUNDARY OR WHERE ANY PROPOSED HABITABLE ROOM WINDOW IS NOT OBSTRUCTED BY A FENCE OR SCREEN OF AT LEAST 1.8m IN HEIGHT WITHIN 9.0m OF THE ALLOTMENT BOUNDARY, WHERE THERE IS AN EXISTING DWELLING ON THE ADJOINING ALLOTMENT)

85 DAYLIGHT TO NEW HABITABLE ROOM WINDOWS
REFER TO THE DRAWING ON THIS PAGE SHOWING THE PROPOSED SETBACK DISTANCES

86 PRIVATE OPEN SPACE
SITE AREA = REFER TO SITE PLAN
AREA OF SECLUDED PRIVATE OPEN SPACE (MIN 25m² WITH MIN 3m DIMENSION)
TOTAL PRIVATE OPEN SPACE MIN, 80m² OR 20% OF AREA OF THE ALLOTMENT, WHICHEVER IS THE LESSER

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GENERAL NOTES

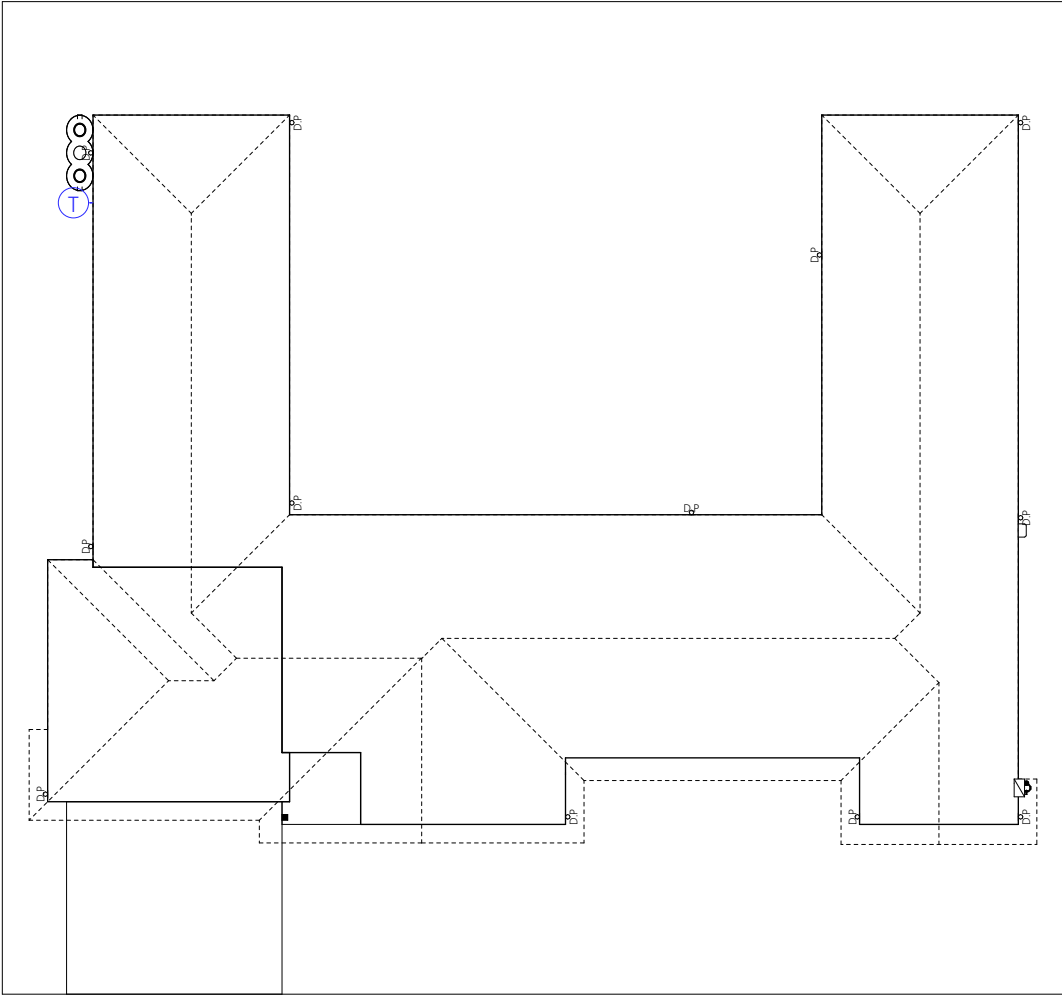
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SITE PLAN
SCALE 1:200

LEGEND:

METER BOX

EXTERNAL TAP

DOWNPIPE

LPOD

SEWER TIE

STORMWATER RUN

TREE REMOVED

EXCAVATION/CUT

BATTER EXTENT

FILL EXTENT

SLEEPER RETAINING WALL HATCH

BRICK/BLOCK RETAINING WALL HATCH

CONCRETE PAVING

BUILDING ENVELOPE

EXCAVATION NOTES:

EXCAVATE APPROX. **CUT AS PER R.L.** AND SPREAD FILL OVER REMAINING BUILDING AREA TO LEVEL. REFER TO LEVELS ON SITE PLAN FOR STEPDOWNS.

EXCAVATIONS TO START MIN. 1000MM FROM EDGE OF BUILDING AND ARE TO BE BATTERED BACK AT A 45 DEG. MINIMUM.

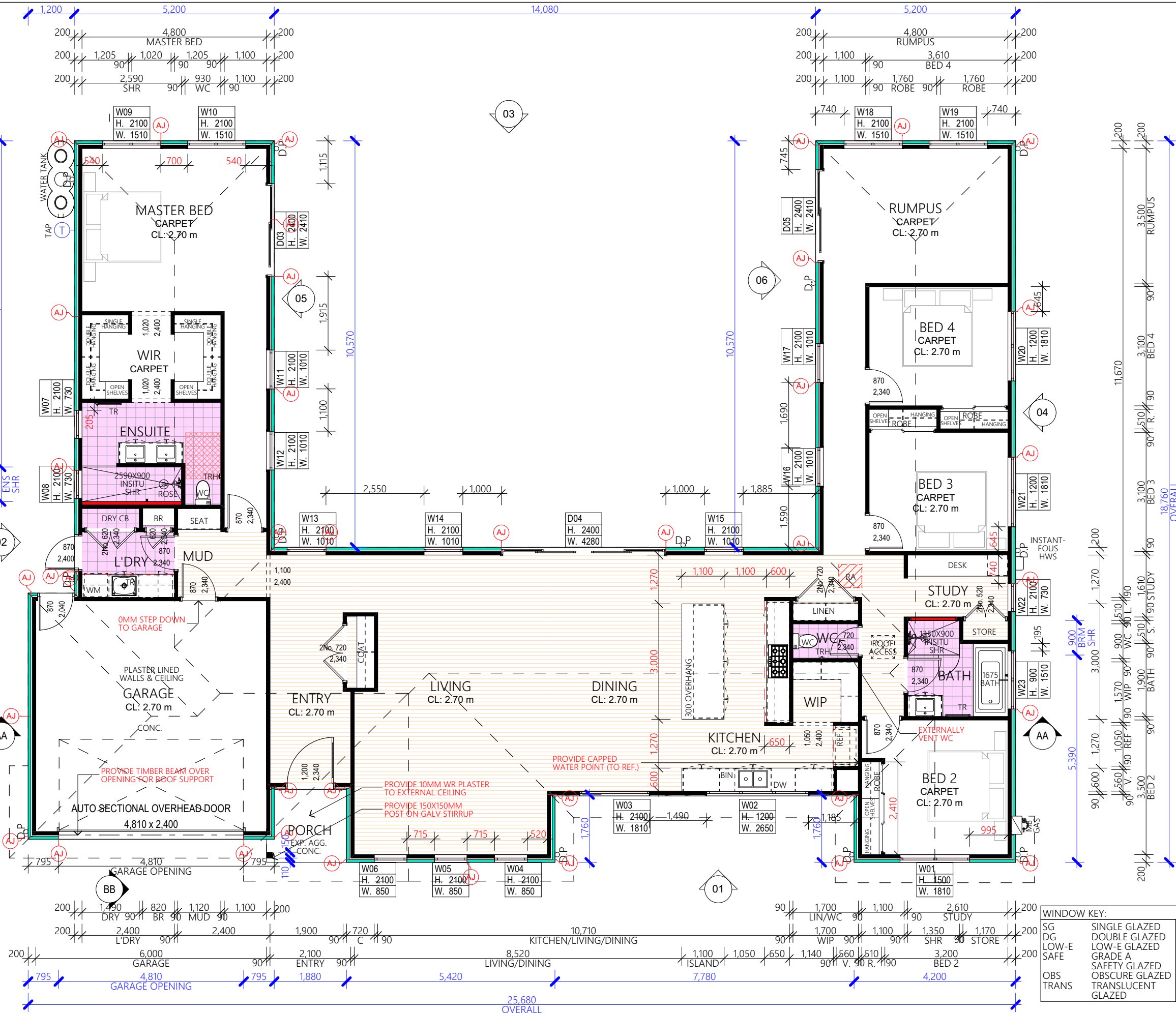
IF A CONCRETE DRIVEWAY IS NOT PROVIDED IT IS THE OWNERS RESPONSIBILITY TO PROVIDE A GRATED DRAIN ACROSS GARAGE OPENINGS, WHERE REQUIRED.

GENERAL NOTES:

- LOCATION OF GARDEN TAPS TBC ON BY BUILDER ON SITE.

GROUND FLOOR PLAN

SCALE 1:100



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GROUND FLOOR PLAN

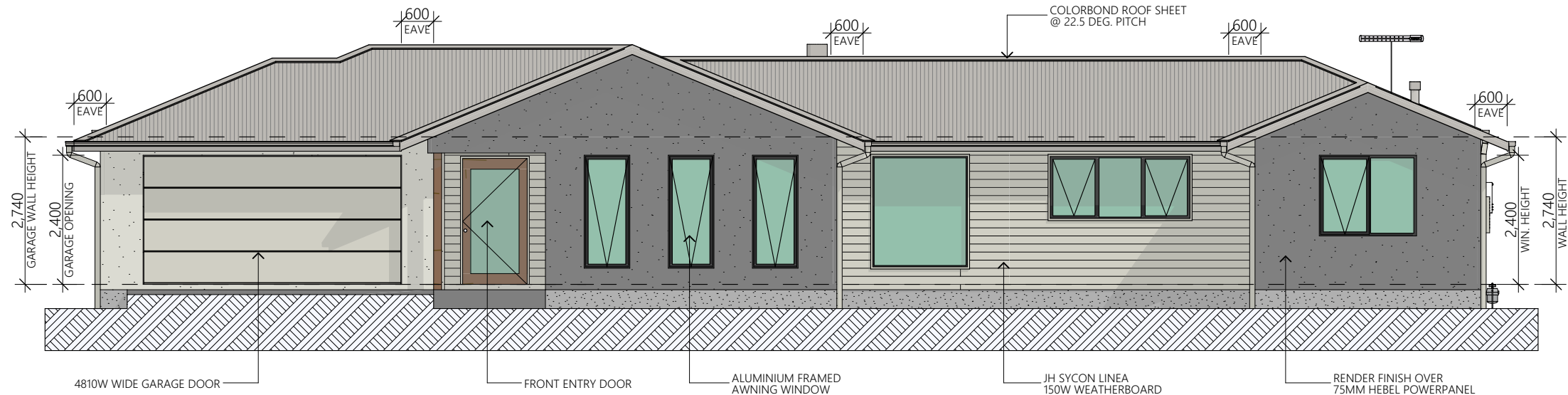
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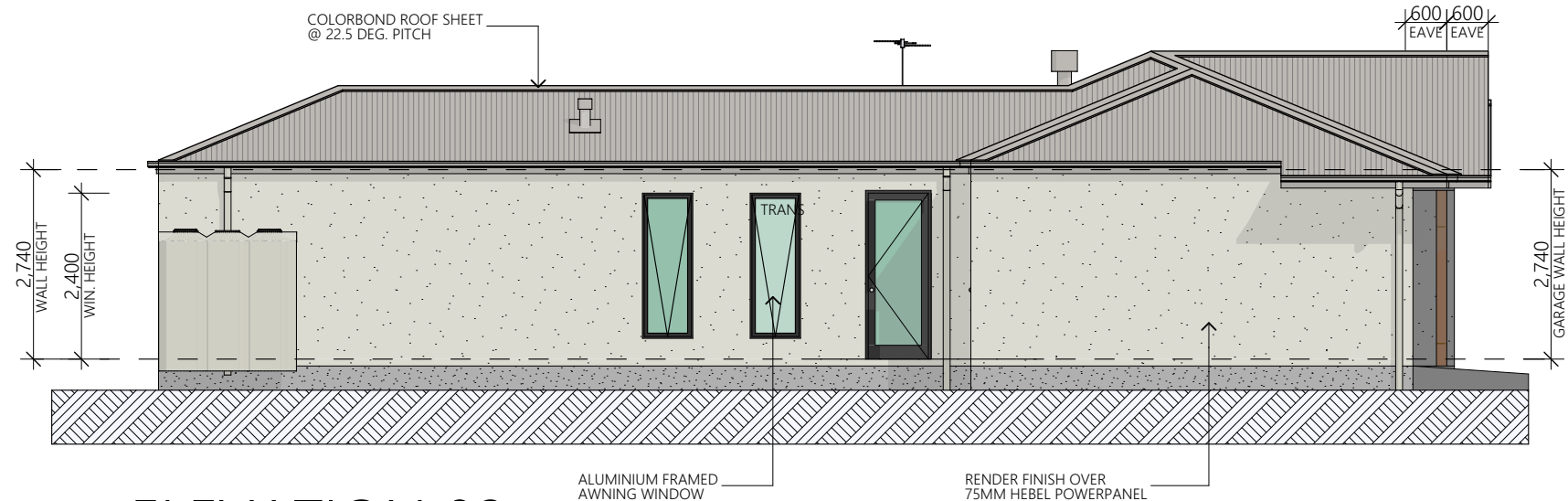
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SITE COVERAGE:		

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REV #	ISSUE DATE	MANUAL TEXT	CONCEPT DESIGN ETC	SOIL CLASSIFICATION - "TBC"
			DATE: 11/10/2024	WIND CLASSIFICATION - "TBC"
			DRAWN BY: S A	DRAWING NUMBER: 4 OF 21
			CHECKED BY:	PRINTED SHEET SIZE: A3



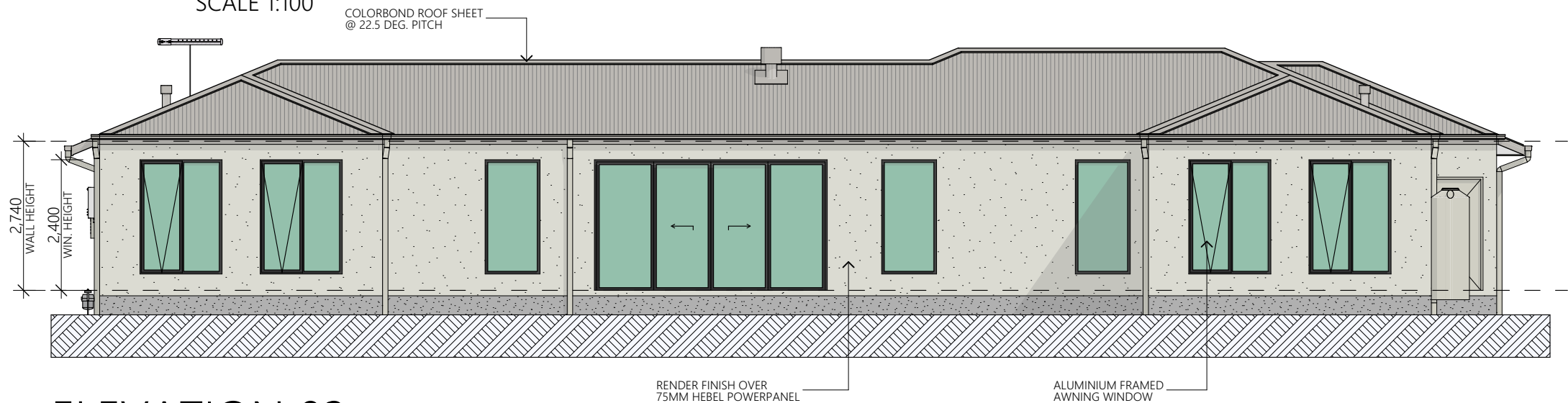
ELEVATION 01

SCALE 1:100



ELEVATION 02

SCALE 1:100



ELEVATION 03

SCALE 1:100

- FLYSCREEN NOTES:
- PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS THROUGHOUT THE DWELLING
 - PROVIDE FLYDOORS TO ALL SLIDING DOORS
- EAVE NOTES:
- DIMENSIONS OF EAVE WIDTHS TAKEN FROM THE EXTERNAL SIDE OF THE 90MM STUD FRAME (I.E NOT THE EXTERNAL CLADDING FACE).
 - EAVES TO HAVE FLAT SOFFIT UNLESS OTHERWISE STATED (I.E NOT RAKED)
- FLOOR TO CEILING HEIGHT NOTES:
- ACTUAL FINISHED INTERNAL FLOOR TO CEILING HEIGHTS ARE APPROX 40MM LOWER THAN WALL FLOOR TO CEILING HEIGHTS INDICATED ON ELEVATIONS (I.E. 2590MM IS 2550MM INTERNALLY)

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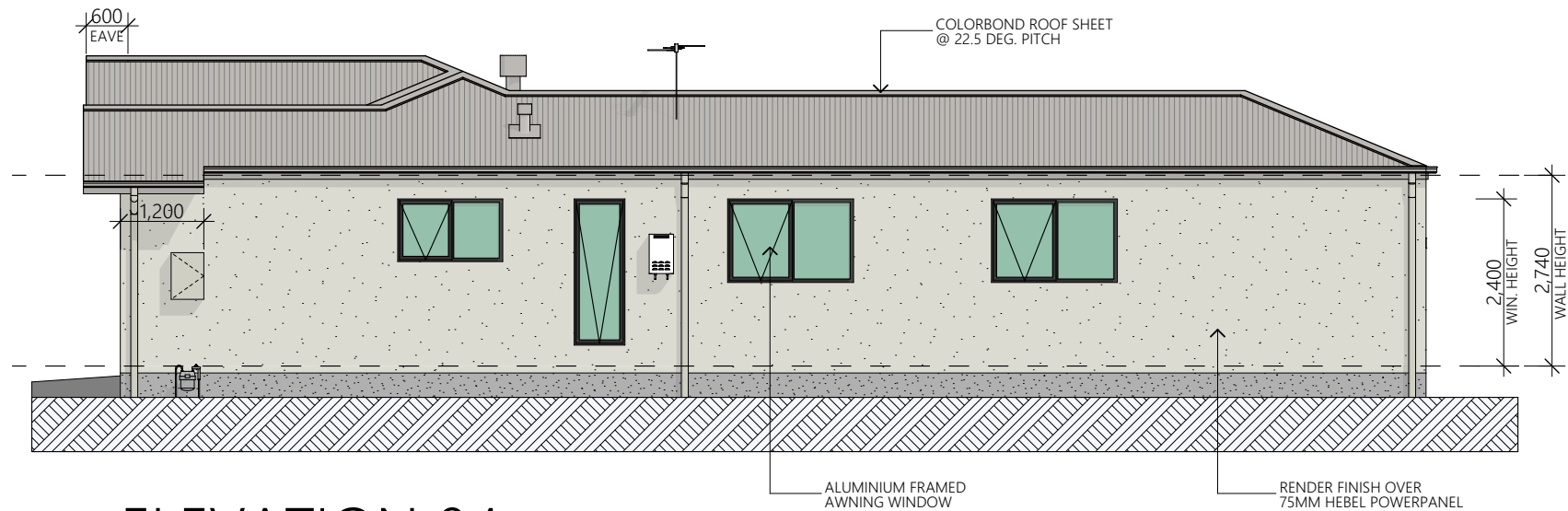
ELEVATION 01 & 02

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
AREA		
SITE COVERAGE:	XX.X%	

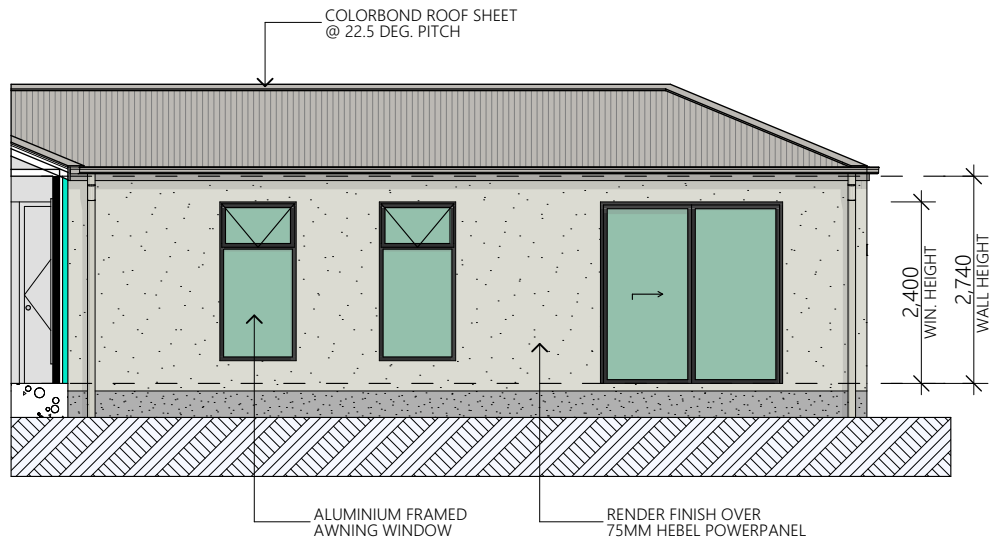
REV.	DATE	AMENDMENT/DESIGN RELEASE
REV #	*ISSUE DATE*	*MANUAL TEXT* CONCEPT DESIGN ETC

PROJECT NUMBER:		BUSHFIRE RATING - BAL TBC
DATE:	11/10/2024	SOIL CLASSIFICATION - "TBC"
DRAWN BY:	S A	WIND CLASSIFICATION - "TBC"
CHECKED BY:		DRAWING NUMBER: 5 OF 21
		PRINTED SHEET SIZE: A3



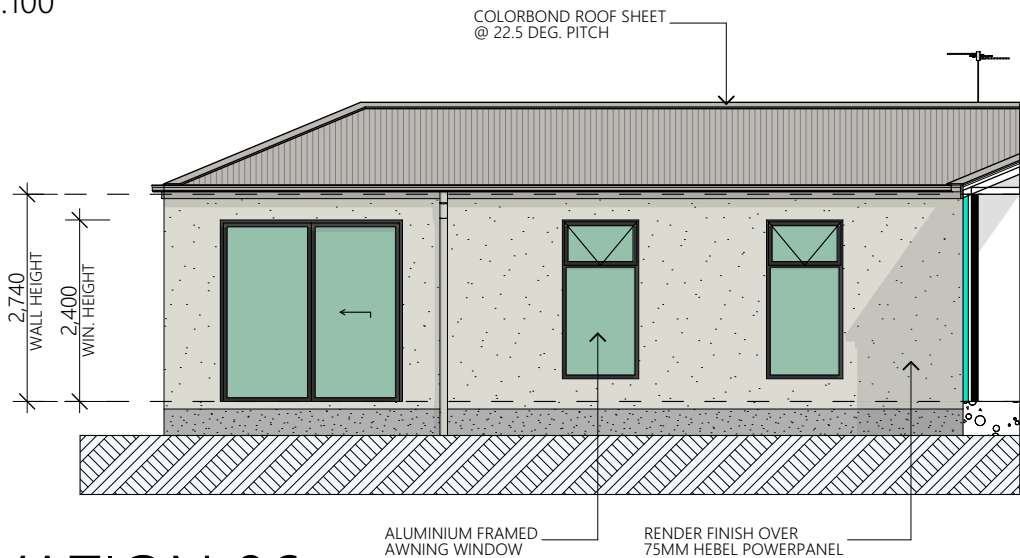
ELEVATION 04

SCALE 1:100



ELEVATION 05

SCALE 1:100



ELEVATION 06

SCALE 1:100

- FLYSCREEN NOTES:
- PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS THROUGHOUT THE DWELLING
 - PROVIDE FLYDOORS TO ALL SLIDING DOORS
- EAVE NOTES:
- DIMENSIONS OF EAVE WIDTHS TAKEN FROM THE EXTERNAL SIDE OF THE 90MM STUD FRAME (I.E NOT THE EXTERNAL CLADDING FACE).
 - EAVES TO HAVE FLAT SOFFIT UNLESS OTHERWISE STATED (I.E NOT RAKED)
- FLOOR TO CEILING HEIGHT NOTES:
- ACTUAL FINISHED INTERNAL FLOOR TO CEILING HEIGHTS ARE APPROX 40MM LOWER THAN WALL FLOOR TO CEILING HEIGHTS INDICATED ON ELEVATIONS (I.E. 2590MM IS 2550MM INTERNALLY)

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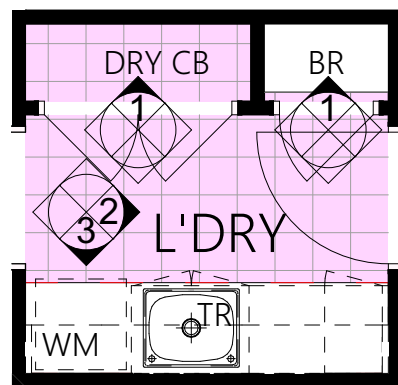
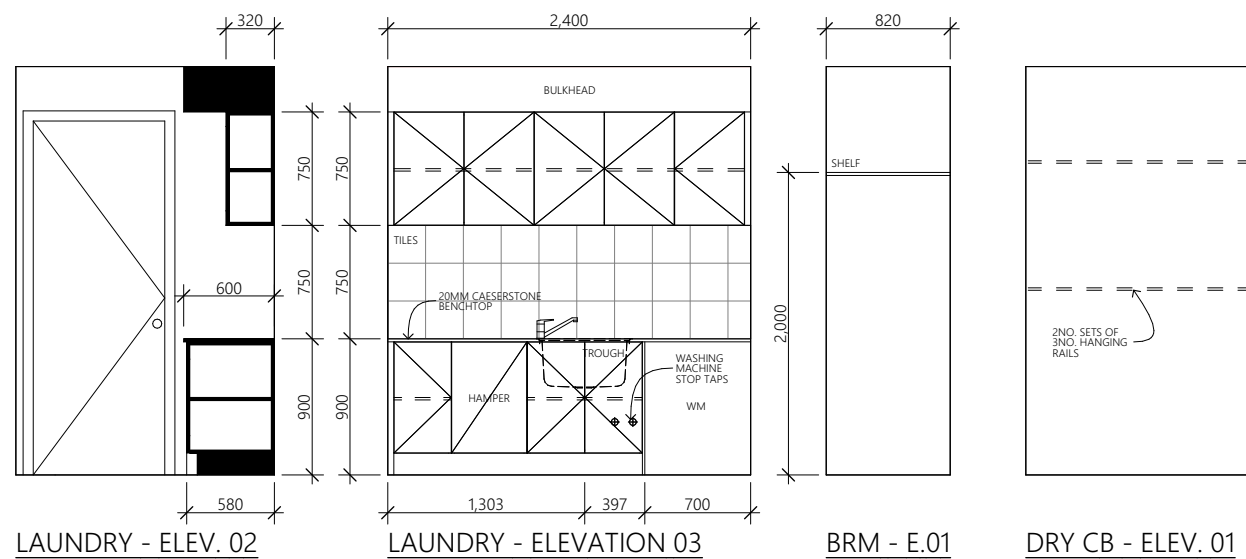
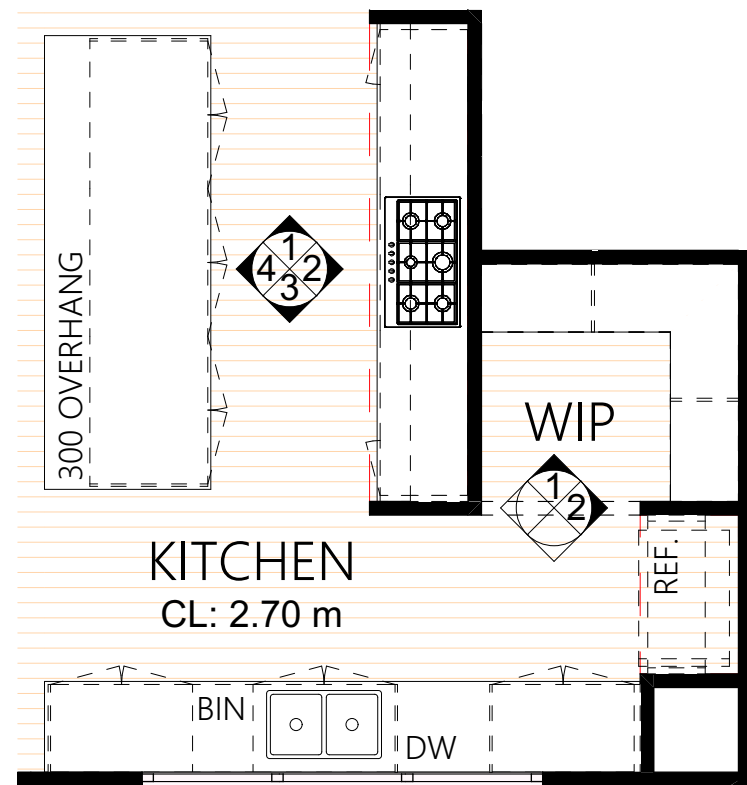
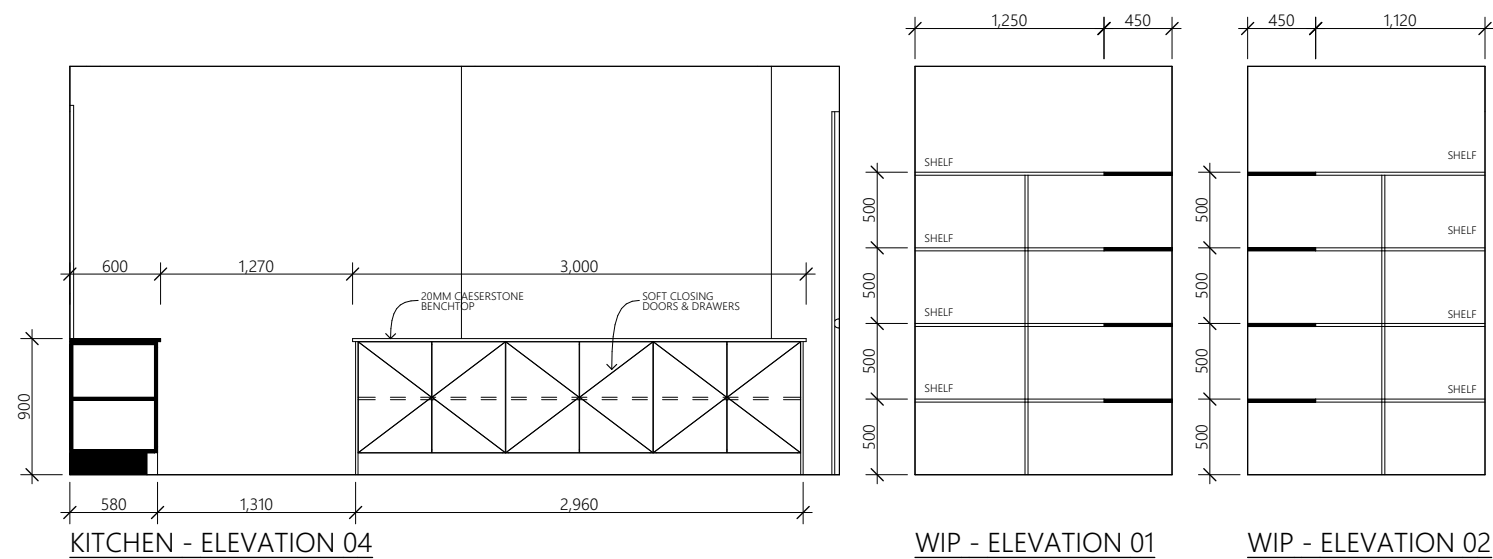
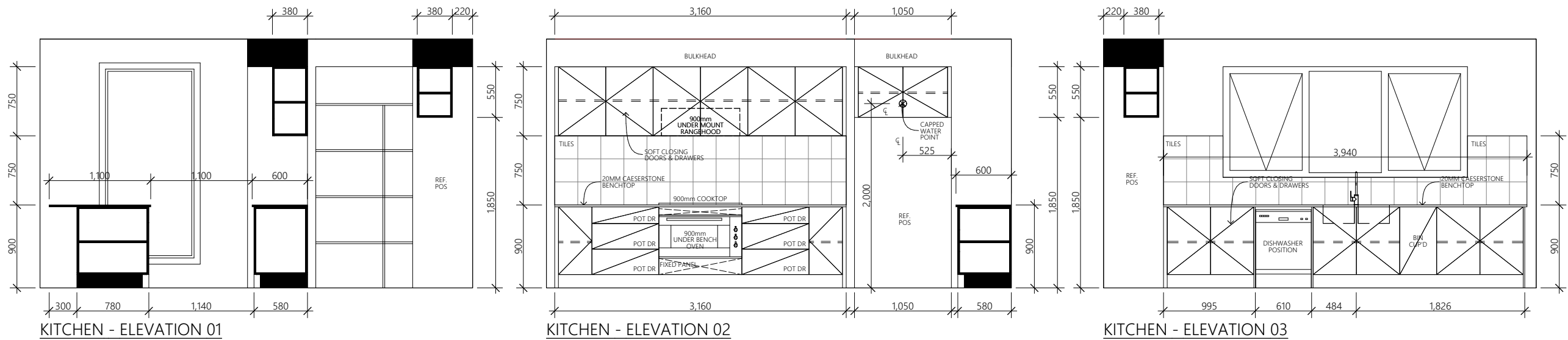


ELEVATION 03 & 04

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
AREA		
SITE COVERAGE:	XX.X%	

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	*ISSUE DATE*	*MANUAL TEXT* CONCEPT DESIGN ETC	DATE:	SOIL CLASSIFICATION - "TBC"
			11/10/2024	WIND CLASSIFICATION - "TBC"
			DRAWN BY: S A	DRAWING NUMBER: 6 OF 21
			CHECKED BY:	PRINTED SHEET SIZE: A3



INTERIOR ELEVATIONS

SCALE 1:50

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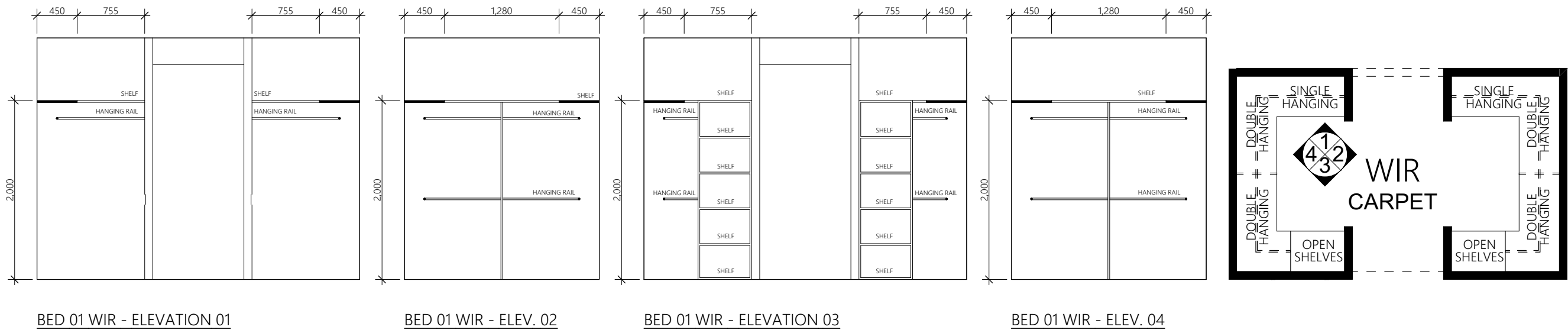


INTERIOR ELEVATIONS 01

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 "MEREDITH"

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
AREA		
SITE COVERAGE:	XX.X%	

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	ISSUE DATE	MANUAL TEXT* CONCEPT DESIGN ETC	DATE: 11/10/2024	SOIL CLASSIFICATION - "TBC"
			DRAWN BY: S A	WIND CLASSIFICATION - "TBC"
			CHECKED BY:	DRAWING NUMBER: 7 OF 21
				PRINTED SHEET SIZE: A3

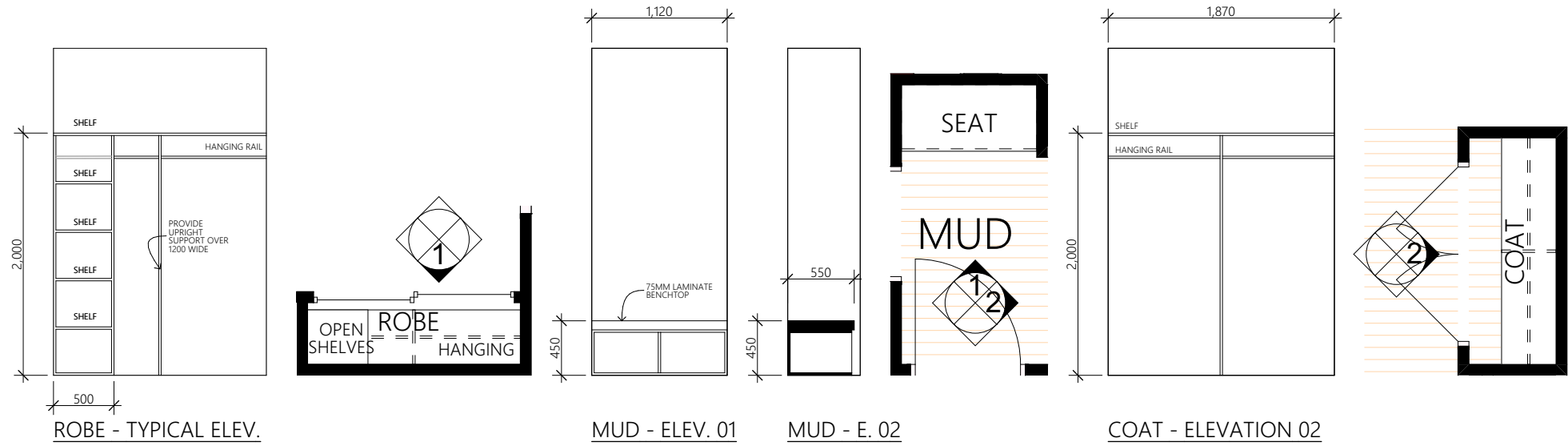


BED 01 WIR - ELEVATION 01

BED 01 WIR - ELEV. 02

BED 01 WIR - ELEVATION 03

BED 01 WIR - ELEV. 04

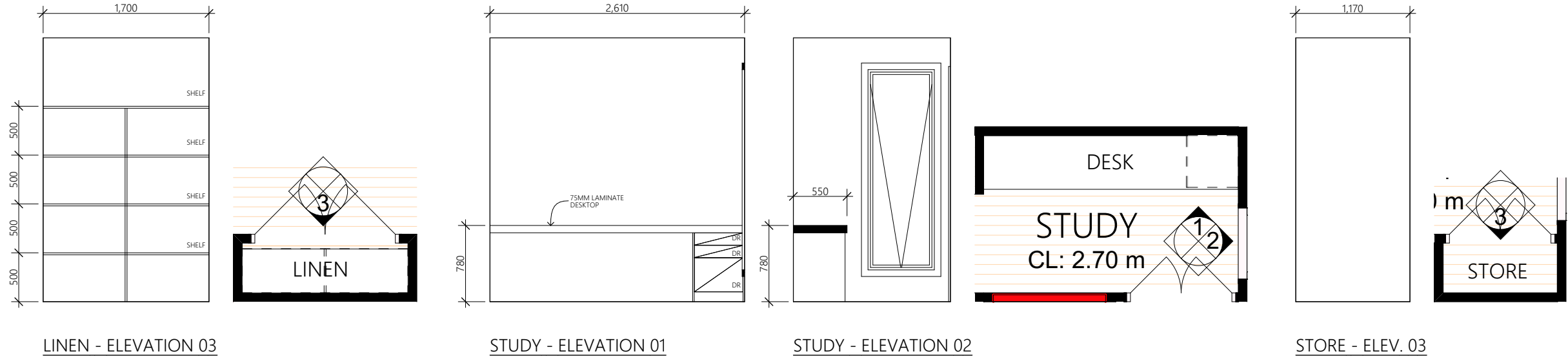


ROBE - TYPICAL ELEV.

MUD - ELEV. 01

MUD - E. 02

COAT - ELEVATION 02



LINEN - ELEVATION 03

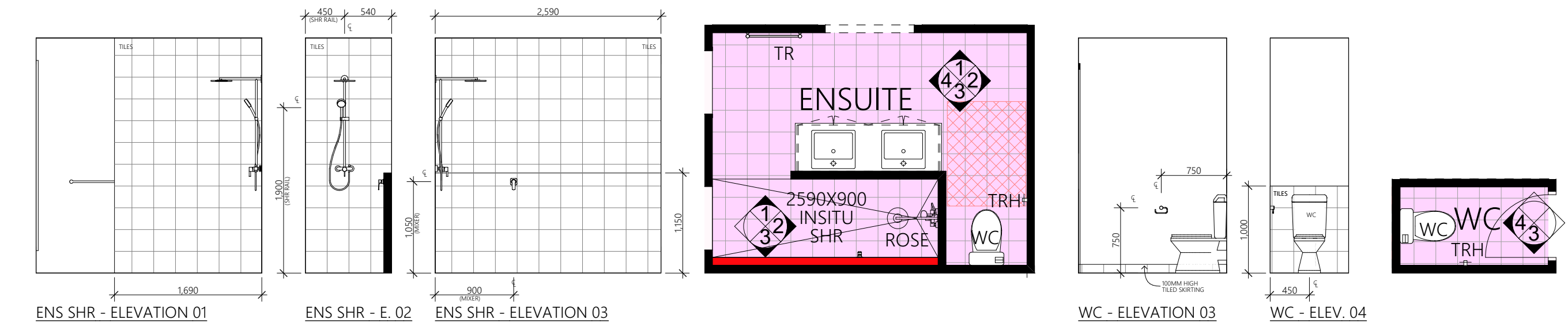
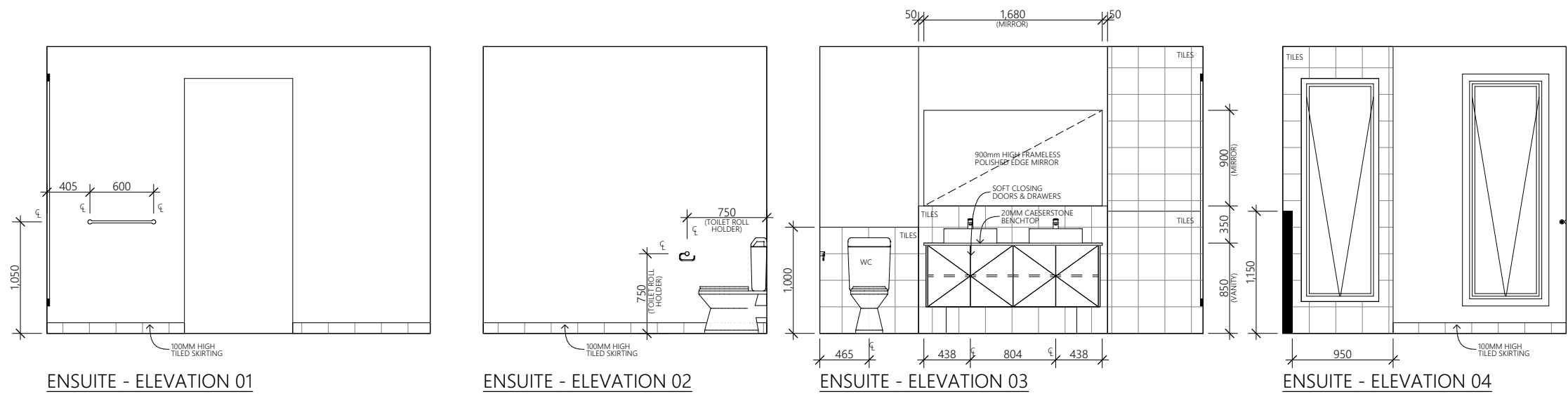
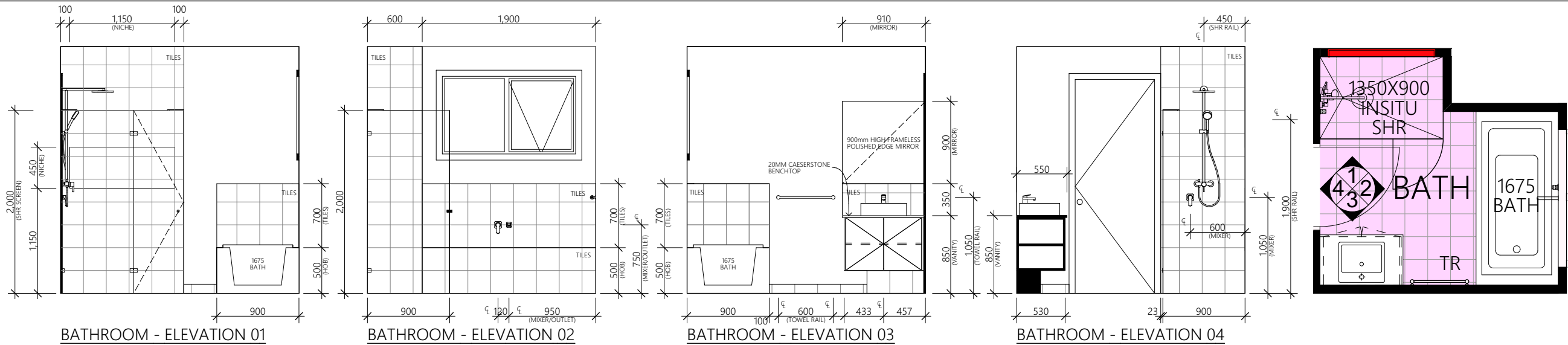
STUDY - ELEVATION 01

STUDY - ELEVATION 02

STORE - ELEV. 03

INTERIOR ELEVATIONS

SCALE 1:50



INTERIOR ELEVATIONS

SCALE 1:50

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NORTH

INTERIOR ELEVATIONS 03

CLIENT NAME:

CLIENT NAME

PROJECT ADDRESS:

ADDRESS, SUBURB

DESIGN TYPE:

GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS

AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
AREA		
SITE AREA:	XXX.X%	
SITE COVERAGE:		

REV.

DATE

AMENDMENT/DESIGN RELEASE

REV #

ISSUE DATE

MANUAL TEXT

CONCEPT DESIGN ETC

PROJECT NUMBER:

DATE:

11/10/2024

DRAWN BY:

S A

CHECKED BY:

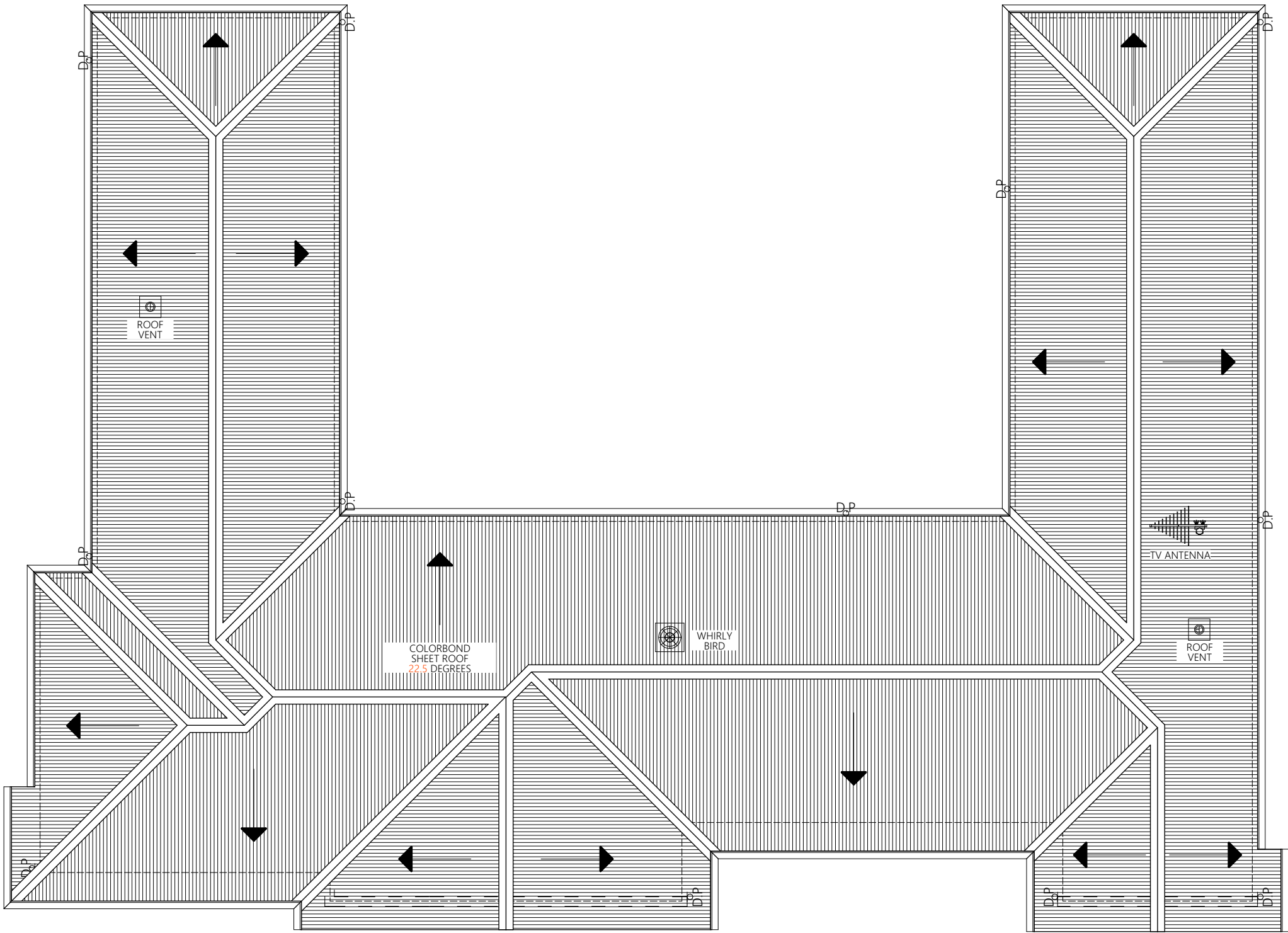
BUSHFIRE RATING - BAL TBC

SOIL CLASSIFICATION - "TBC"

WIND CLASSIFICATION - "TBC"

DRAWING NUMBER: 9 OF 21

PRINTED SHEET SIZE: A3



ROOF PLAN
SCALE 1:100

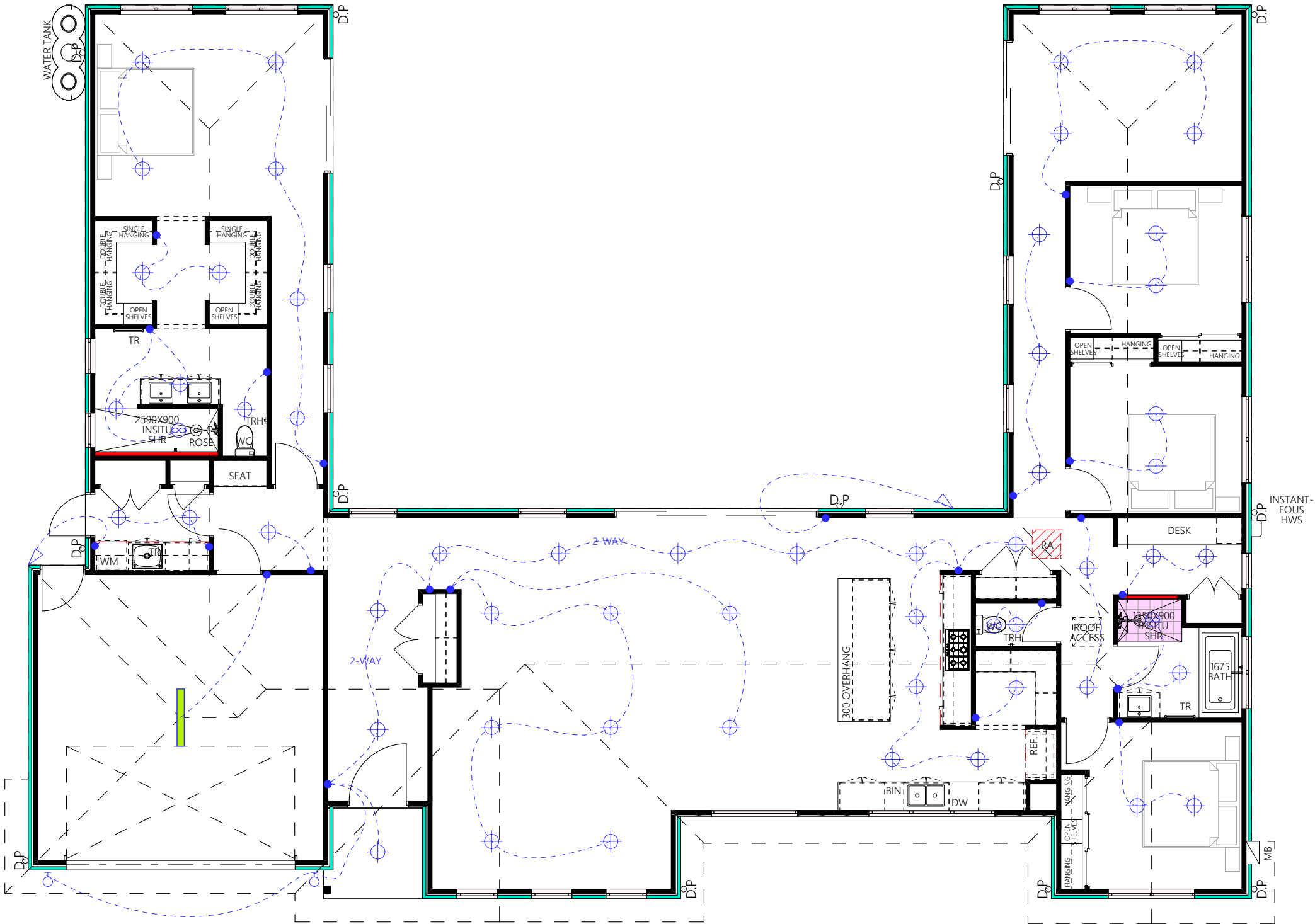
VENTILATION NOTES:
ALL EXHAUST FANS MUST BE VENTED DIRECTLY TO THE OUTSIDE AIR VIA A DUCT SYSTEM.
EXHAUST FAN FLOW RATES REQUIRED:
20 LITRES PER SECOND TO LAUNDRY'S BATHROOM AND WC'S
40 LITRES PER SECOND TO RANGEHOODS

ARTIFICIAL LIGHTING CALCULATION
IN ACCORDANCE WITH NCC BUILDING CODE OF AUSTRALIA VOLUME 2 PART 3. 12.5.5

LIGHTING LOCATION	TOTAL ALLOWANCE (WATTS)	ACTUAL (WATTS)
CLASS 1 BUILDING (5W/m2) RESIDENCE	1295.1W	594W
CLASS 10 BUILDING (3W/m2) GARAGE/CARPORT	116.8W	25W
EXTERNAL LIGHTING (4W/m2) VERANDAH/PORCH/ALFRESCO ETC	14.8W	11W
TOTAL	1426.7W	630W

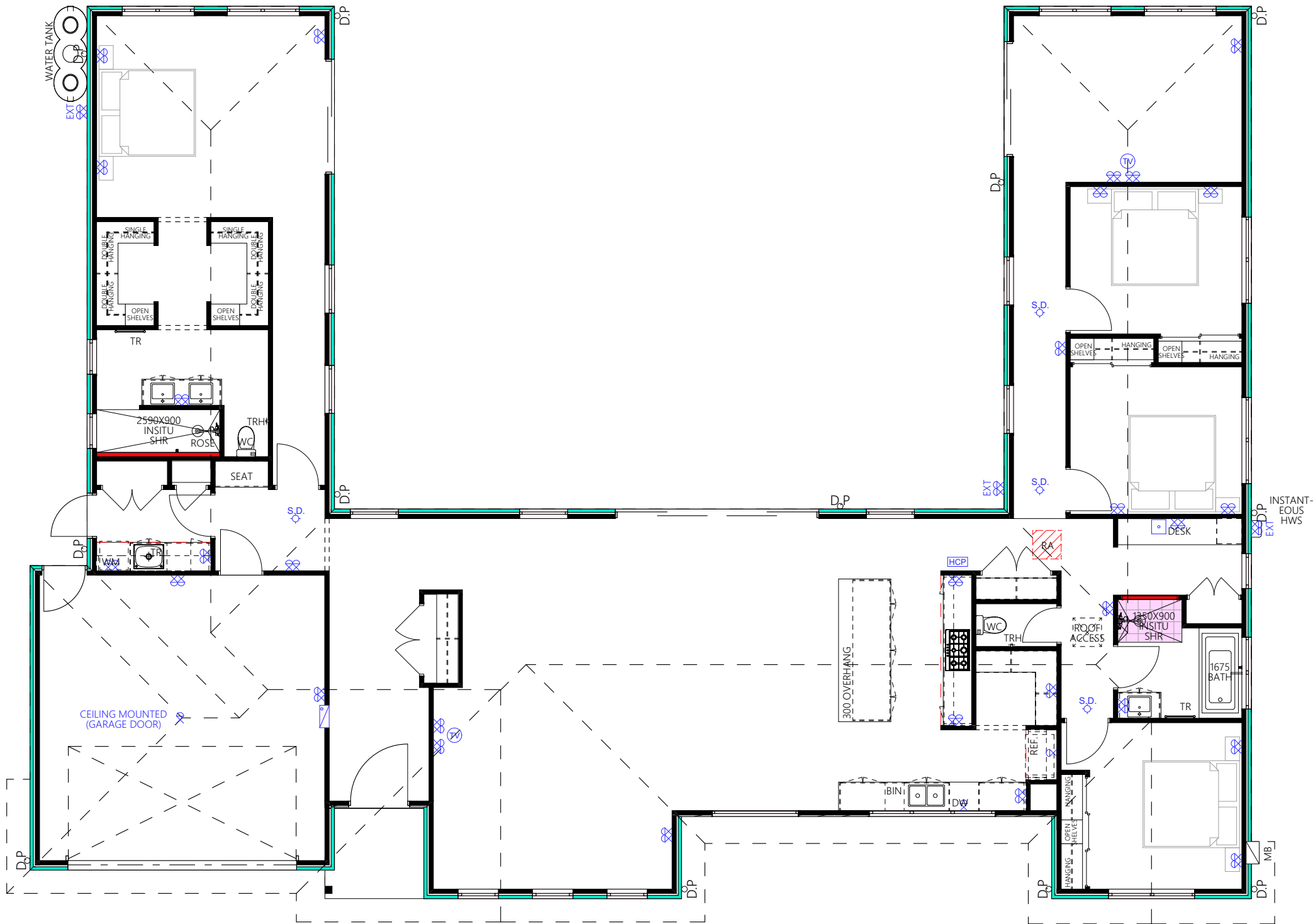
LIGHTING SCHEDULE				
ICON		DESCRIPTION	QTY	WATT
Electrical - Internal Lighting				
		DOWNLIGHT	54	11
		EXHAUST FAN (DUCTED)	3	0
Electrical - Garage Lighting				
		LED PANEL LIGHT	1	25
Electrical - External Lighting				
		DOWNLIGHT	1	11
		EXTERNAL SPOTLIGHT	2	18
		WALL LIGHT FITTING	2	14

PLEASE NOTE:
ALL ELECTRICAL FITTING/HEATING/COOLING OUTLET LOCATIONS ARE NOMINAL ONLY. TO BE CONFIRMED AND LOCATED AS PER MANUFACTURERS SPECIFICATIONS



ELECTRICAL - LIGHTING

SCALE 1:100



ELECTRICAL SCHEDULE (ACCESSORIES)		
ICON	DESCRIPTION	QTY
Electrical Accessories		
	DOUBLE GENERAL POWER OUTLET	29
	DOUBLE GENERAL POWER OUTLET (EXTERNAL)	3
	HARDWIRED SMOKE DETECTOR (INTERCONNECTED)	4
	HEATING CONTROL PANEL	1
	NBN CAT 6 DATA POINT	1
	NBN HUB	1
	SINGLE GENERAL POWER OUTLET	3
	TV POINT	2

ELECTRICAL - ACCESSORIES

SCALE 1:100

PLEASE NOTE:
ALL ELECTRICAL FITTING/HEATING/COOLING OUTLET LOCATIONS ARE
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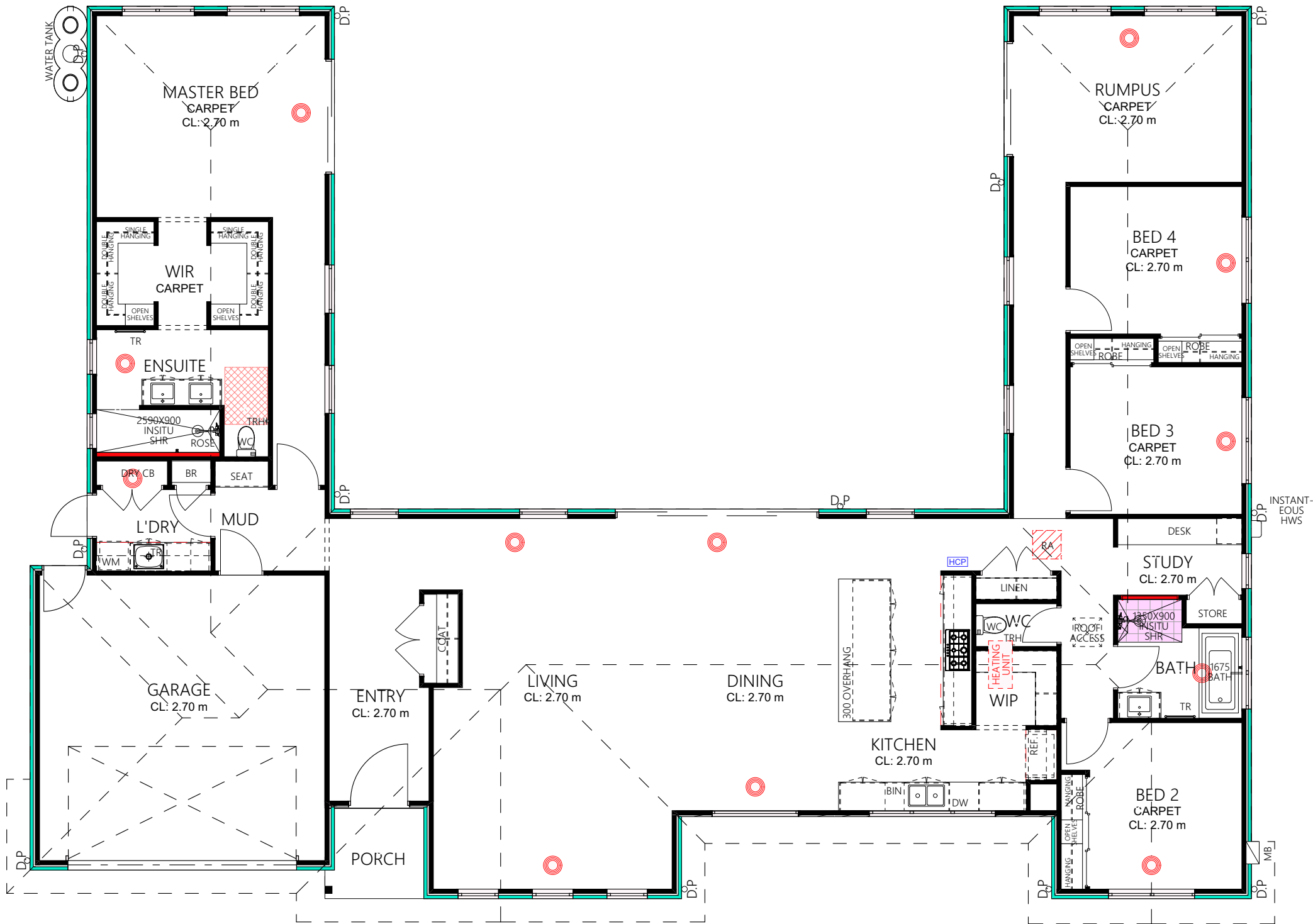


ELECTRICAL - ACCESSORIES

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
AREA	259.02	27.88
DWELLING	38.94	4.19
GARAGE	3.69	0.40
PORCH	301.65	32.47
TOTAL AREA:	AREA	
SITE AREA:	XX.X%	
SITE COVERAGE:		

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	*ISSUE DATE*	*MANUAL TEXT* CONCEPT DESIGN ETC	DATE: 11/10/2024	SOIL CLASSIFICATION - "TBC"
			DRAWN BY: S A	WIND CLASSIFICATION - "TBC"
			CHECKED BY:	DRAWING NUMBER: 12 OF 21
				PRINTED SHEET SIZE: A3



ELECTRICAL - HVAC

SCALE 1:100

ELECTRICAL SCHEDULE (HEATING & COOLING)		
ICON	DESCRIPTION	QTY
Heating & Cooling		
	DUCTED HEATING OUTLET	12
	DUCTED HEATING UNIT (IN ROOF)	1
	HEATING CONTROL PANEL	1

PLEASE NOTE:
ALL ELECTRICAL FITTING/HEATING/COOLING OUTLET LOCATIONS ARE
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MANUFACTURERS SPECIFICATIONS

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ELECTRICAL - HVAC

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	XX.X%
SITE COVERAGE:	AREA	XX.X%

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	ISSUE DATE	MANUAL TEXT* CONCEPT DESIGN ETC	DATE: 11/10/2024	SOIL CLASSIFICATION - "TBC"
			DRAWN BY: S A	WIND CLASSIFICATION - "TBC"
			CHECKED BY:	DRAWING NUMBER: 13 OF 21
				PRINTED SHEET SIZE: A3

WINDOW LIGHT AND VENTILATION SCHEDULE

ID	D01	D02	D03	D04	D05	W01	W02	W03	W04	W05	W06	W07	W08
ELEVATION													
ROOM	ENTRY	L'DRY	MASTER BED	LIVING	RUMPUS	BED 2	KITCHEN	DINING	LIVING	LIVING	LIVING	ENSUITE	ENSUITE
WINDOW TYPE	SWINGING DOOR	SWINGING DOOR	SLIDING DOOR	BI-PARTING DOOR	SLIDING DOOR	AWNING; FIXED	AWNING; FIXED; AWNING.	FIXED	AWNING	AWNING	AWNING	AWNING	AWNING
GLAZING/REVEAL TYPE	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; TRANS; SR
HEIGHT	2,340	2,400	2,400	2,400	2,400	1,500	1,200	2,100	2,100	2,100	2,100	2,100	2,100
WIDTH	1,200	870	2,410	4,280	2,410	1,810	2,650	1,810	850	850	850	730	730
HEAD HEIGHT	2,340	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400
SILL HEIGHT	0	0	0	0	0	900	1,200	300	300	300	300	300	300
REVEAL SIZE	100 (Weatherboard)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	100 (Weatherboard)	100 (Weatherboard)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)
WINDOW FURNISHING	NO	NO	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
ROOM AREA M2	SEE NOTES	3.86	SEE MASTER BED	SEE NOTES	SEE RUMPUS	11.80	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	10.00	SEE ENSUITE
10% REQ LIGHT M2	SEE NOTES	0.39	SEE MASTER BED	SEE NOTES	SEE RUMPUS	1.18	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	1.00	SEE ENSUITE
ACTUAL LIGHT M2	1.75	1.41	4.81	8.59	4.81	2.21	2.51	3.42	1.37	1.37	1.37	1.13	1.13
5% REQ VENTILATION M2	SEE NOTES	0.19	SEE MASTER BED	SEE NOTES	SEE RUMPUS	0.59	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	0.50	SEE ENSUITE
ACTUAL VENTILATION M2	1.75	1.41	2.40	4.30	2.40	1.11	1.67	0.00	1.37	1.37	1.37	1.13	1.13

ID	W09	W10	W11	W12	W13	W14	W15	W16	W17	W18	W19	W20	W21	W22	W23
ELEVATION															
ROOM	MASTER BED	MASTER BED	MASTER BED	MASTER BED	ENTRY	LIVING	KITCHEN	RUMPUS	RUMPUS	RUMPUS	RUMPUS	BED 4	BED 3	STUDY	BATH
WINDOW TYPE	AWNING; FIXED	AWNING; FIXED	AWNING; FIXED	AWNING; FIXED	FIXED	FIXED	FIXED	AWNING; FIXED	AWNING; FIXED	AWNING; FIXED	AWNING; FIXED	AWNING; FIXED	AWNING; FIXED	AWNING	AWNING; FIXED
GLAZING/REVEAL TYPE	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SAFE; SR	SG; SR	SG; SR	SG; SAFE; SR	SG; SAFE; SR
HEIGHT	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	2,100	1,200	1,200	2,100	900
WIDTH	1,510	1,510	1,010	1,010	1,010	1,010	1,010	1,010	1,010	1,510	1,510	1,810	1,810	730	1,510
HEAD HEIGHT	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400	2,400
SILL HEIGHT	300	300	300	300	300	300	300	300	300	300	300	1,200	1,200	300	1,500
REVEAL SIZE	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)	120 (Hebel Panel 200)
WINDOW FURNISHING	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
ROOM AREA M2	SEE MASTER BED	SEE MASTER BED	26.65	SEE MASTER BED	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE RUMPUS	16.80	11.19	11.19	4.20	5.77
10% REQ LIGHT M2	SEE MASTER BED	SEE MASTER BED	2.09	SEE MASTER BED	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE RUMPUS	1.68	1.12	1.12	0.42	0.58
ACTUAL LIGHT M2	2.59	2.59	1.71	1.71	1.82	1.82	1.82	1.71	1.71	2.59	2.59	1.73	1.73	1.13	1.02
5% REQ VENTILATION M2	SEE MASTER BED	SEE MASTER BED	1.33	SEE MASTER BED	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE NOTES	SEE RUMPUS	0.84	0.56	0.56	0.21	0.29
ACTUAL VENTILATION M2	1.29	1.29	0.55	0.55	0.00	0.00	0.00	0.55	0.55	1.29	1.29	0.87	0.87	1.13	0.51

WINDOW KEY:			
SG	SINGLE GLAZED	SR	STANDARD PLASTER REVEAL
DG	DOUBLE GLAZED	PR	TEMP REVEAL
LOW-E	LOW-E GLAZED	TR	TILED REVEAL
SAFE	GRADE A SAFETY GLAZED	TBR	TEMP BOTTOM REVEAL
OBS	OBSOLETE GLAZED		
TRANS	TRANSLUCENT GLAZED		

KITCHEN / MEALS / LIVING:	
TOTAL ROOM AREAS	107.81 SQM
10% REQ LIGHT M2	10.78
ACTUAL LIGHT M2	28.50
5% REQ VETILATION M2	5.39
ACTUAL VENTILATION M2	11.89

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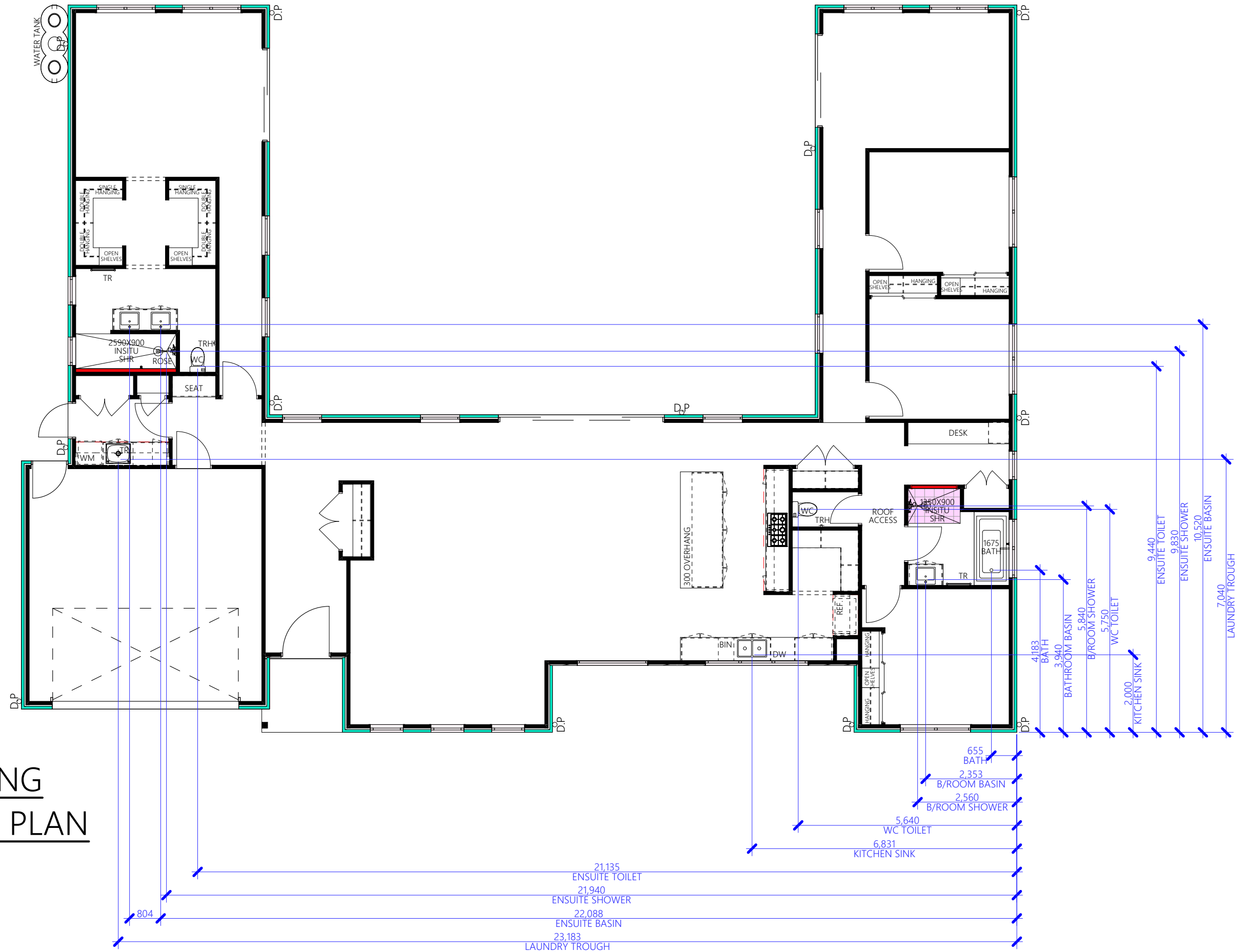
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WINDOW/DOOR SCHEDULE 01

CLIENT NAME:	CLIENT NAME
PROJECT ADDRESS:	ADDRESS, SUBURB
DESIGN TYPE:	GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS	AREA	SQM	SQ
AREA		259.02	27.88
DWELLING		38.94	4.19
GARAGE		3.69	0.40
PORCH			
TOTAL AREA:		301.65	32.47
AREA			
SITE AREA:		XX.X%	
SITE COVERAGE:			

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
		REV # *ISSUE DATE**MANUAL TEXT* CONCEPT DESIGN ETC	DATE: 11/10/2024	SOIL CLASSIFICATION - "TBC"
				WIND CLASSIFICATION - "TBC"
			DRAWN BY: S A	DRAWING NUMBER: 14 OF 21
			CHECKED BY:	PRINTED SHEET SIZE: A3



PLUMBING
SETOUT PLAN
SCALE 1:100

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PLUMBING SETOUT PLAN

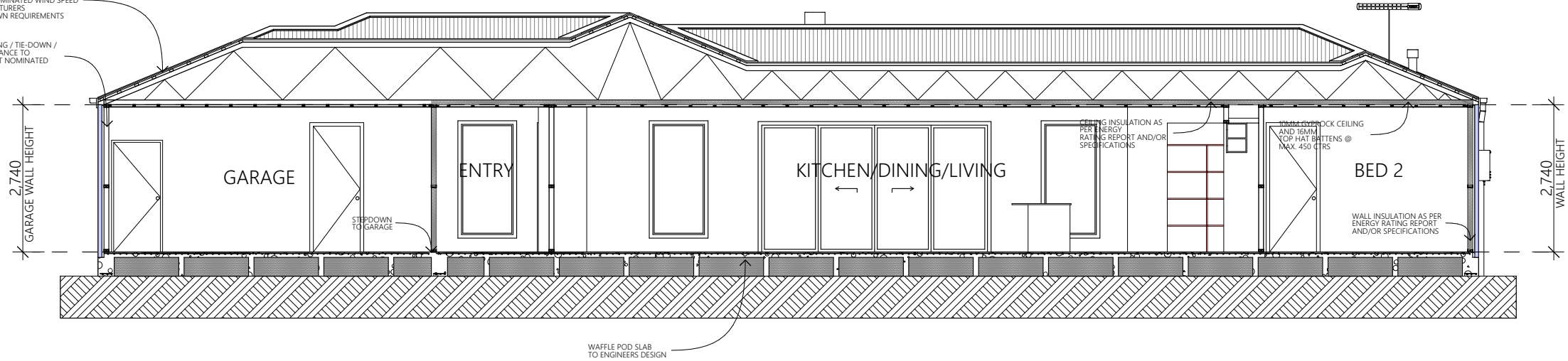
CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	XX.X%
SITE COVERAGE:		

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	ISSUE DATE	MANUAL TEXT* CONCEPT DESIGN ETC	DATE: 11/10/2024	SOIL CLASSIFICATION - "TBC"
			DRAWN BY: S A	WIND CLASSIFICATION - "TBC"
			CHECKED BY:	DRAWING NUMBER: 15 OF 21
				PRINTED SHEET SIZE: A3

COLORBOND SHEET ROOF @ 22.5 DEGREES ON BATTENS
AT 900 CTS TIMBER TRUSSES @ 900 CTS TO
MANUFACTURERS DESIGN DESIGNED FOR NOMINATED WIND SPEED
FIXED IN STRICT ACCORDANCE TO MANUFACTURERS
INSTALL GUIDELINES INCLUDING ALL TIE-DOWN REQUIREMENTS

90MM PRE-FAB TIMBER WALL FRAMES BRACING / TIE-DOWN /
WALL FRAMES INSTALLED IN STRICT ACCORDANCE TO
MANUFACTURERS INSTALL GUIDELINES TO SUIT NOMINATED
WIND SPEED

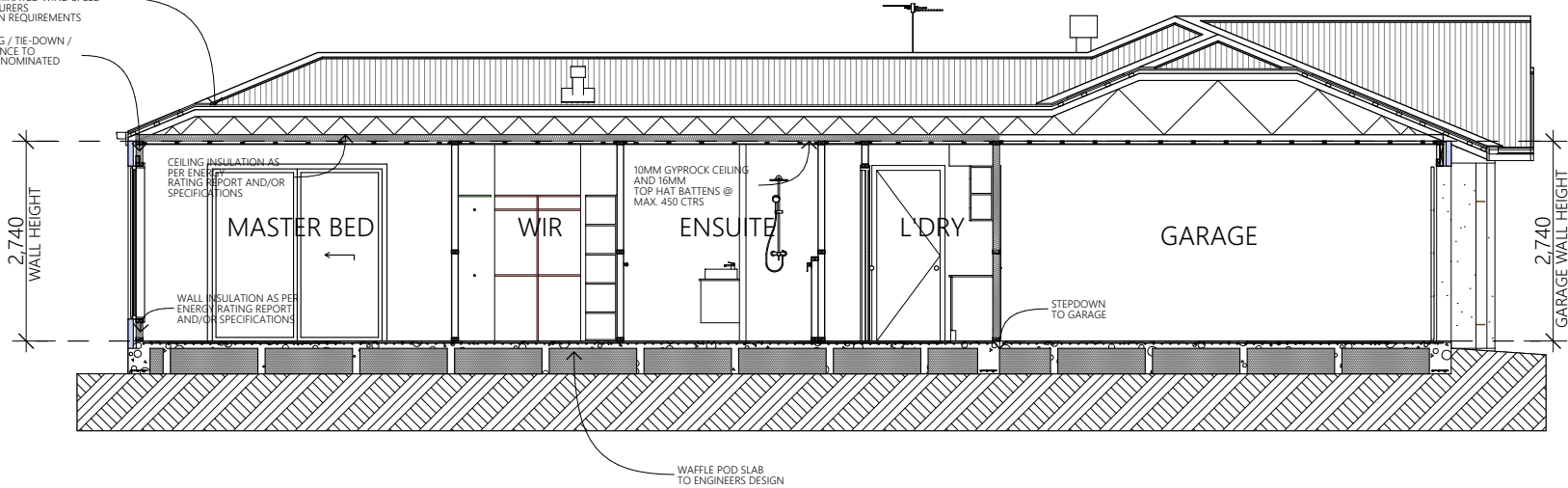


SECTION A-A

SCALE 1:100

COLORBOND SHEET ROOF @ 22.5 DEGREES ON BATTENS
AT 900 CTS TIMBER TRUSSES @ 900 CTS TO
MANUFACTURERS DESIGN DESIGNED FOR NOMINATED WIND SPEED
FIXED IN STRICT ACCORDANCE TO MANUFACTURERS
INSTALL GUIDELINES INCLUDING ALL TIE-DOWN REQUIREMENTS

90MM PRE-FAB TIMBER WALL FRAMES BRACING / TIE-DOWN /
WALL FRAMES INSTALLED IN STRICT ACCORDANCE TO
MANUFACTURERS INSTALL GUIDELINES TO SUIT NOMINATED
WIND SPEED



SECTION B-B

SCALE 1:100

ENERGY RATING NOTES:

- MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY EFFICIENCY SUBJECT TO FINAL ENERGY RATING REPORT
- DOOR SEALS
- BRUSH SEALS TO UTILITY ROOM DOORS. SILL SEALS TO EXTERNAL HINGED DOORS (INCL. GARAGE))
- DRAFT EXCLUSION
- WEATHER WRAPPED WITH TAPED HORIZONTAL AND VERTICAL JOINTS. SEALED GAPS AROUND WINDOWS AND EXTERNAL DOORS.
- EXHAUST FANS (SELF CLOSING AND VENTED TO OPEN AIR) DRAFT PREVENTION TO EXHAUST FANS.
- INSULATION
- CEILING INSULATION
- R5.0 INSULATION BATTS
- BETWEEN FLOORS INSULATION
- R-4.1 INSULATION BATTS
- WALL INSULATION
- R-2.5 INSULATION BATTS

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SECTION AA & BB

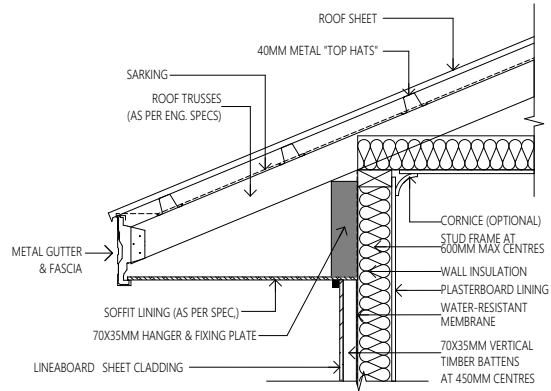
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PROJECT ADDRESS: ADDRESS,
SUBURB

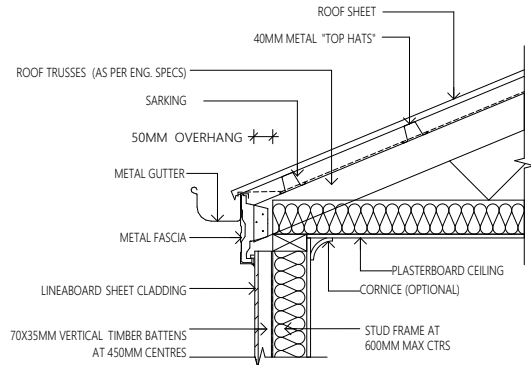
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	
SITE COVERAGE:	XX.X%	

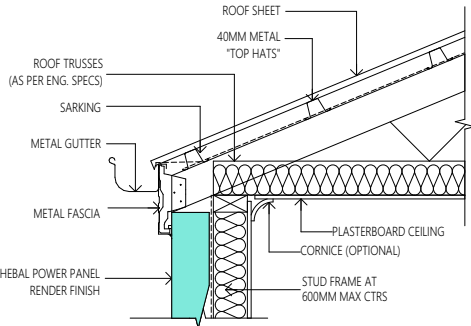
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REV #	*ISSUE DATE*	*MANUAL TEXT* CONCEPT DESIGN ETC	DATE:	SOIL CLASSIFICATION - "TBC"
			11/10/2024	WIND CLASSIFICATION - "TBC"
			DRAWN BY: S A	DRAWING NUMBER: 17 OF 21
			CHECKED BY:	PRINTED SHEET SIZE: A3



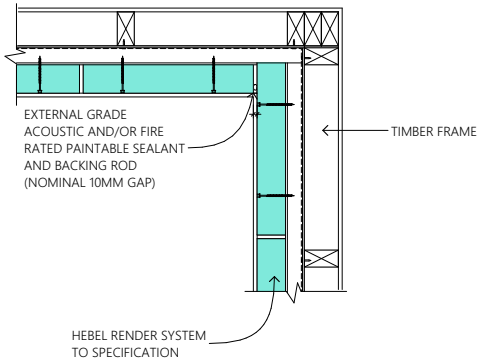
D1 ROOF EAVE DETAIL



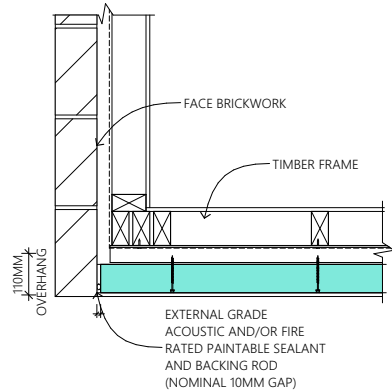
D2 PITCHED ROOF DETAIL



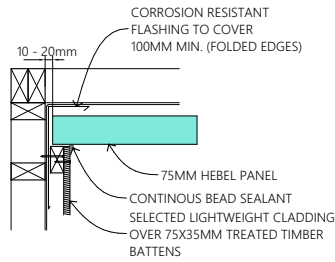
D3 GENERAL GUTTER DETAIL



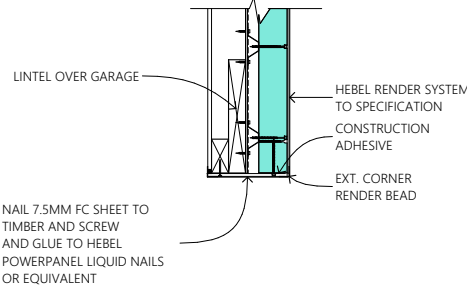
D4 INTERNAL CORNER



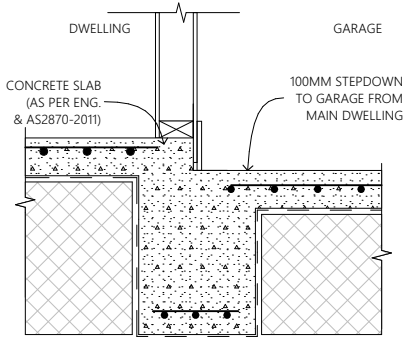
D5 EXTERNAL CORNER



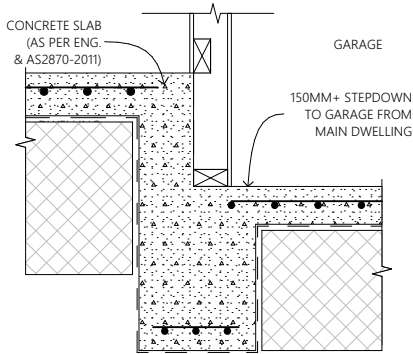
D6 INTERNAL CLADDING JUNCTION
HEBEL & LIGHTWEIGHT CLADDING



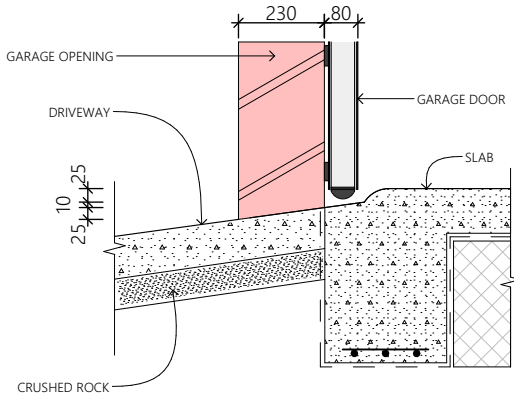
D7 GARAGE DOOR
HEAD DETAIL



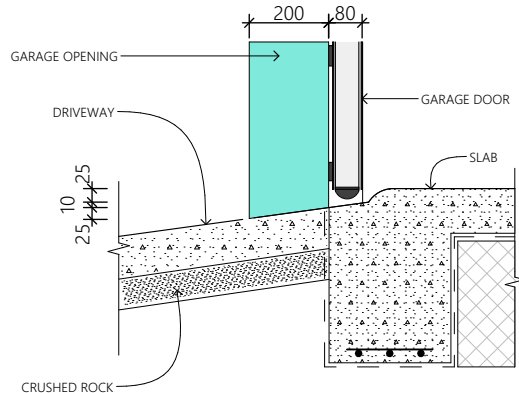
D8 TYPICAL 100MM STEPDOWN DETAIL



D9 STEPDOWN GREATER THAN 150MM DETAIL



D10 TYPICAL 100MM STEPDOWN DETAIL



D11 TYPICAL 100MM STEPDOWN DETAIL

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DETAILS 01

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	
SITE COVERAGE:	XX.X%	

REV.	DATE	AMENDMENT/DESIGN RELEASE
REV #	ISSUE DATE	MANUAL TEXT* CONCEPT DESIGN ETC

PROJECT NUMBER:	
DATE:	11/10/2024
DRAWN BY:	S A
CHECKED BY:	

BUSHFIRE RATING - BAL TBC
SOIL CLASSIFICATION - "TBC"
WIND CLASSIFICATION - "TBC"
DRAWING NUMBER: 18 OF 21
PRINTED SHEET SIZE: A3

REINFORCMENT OF BATHROOM AND SANITARY COMPARTMENT WALLS

Location of noggings for walls surrounding a bath
Light gauge steel framing noggings or metal plate in accordance with the NASH Standard.

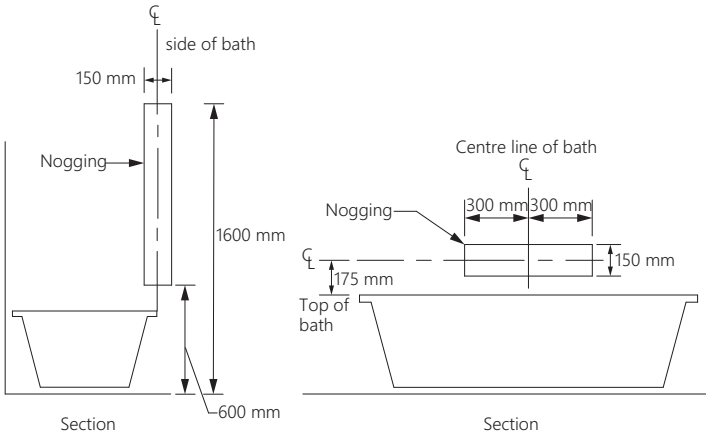


Figure Notes
(1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.
(2) Where the height of the bathtub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.
Location of sheeting for walls surrounding a bath

Location of noggings for shower walls
Where the height of the bath tub is not yet known, an assumed height of 500 mm above finished floor level may be used to determine the location of wall reinforcing.

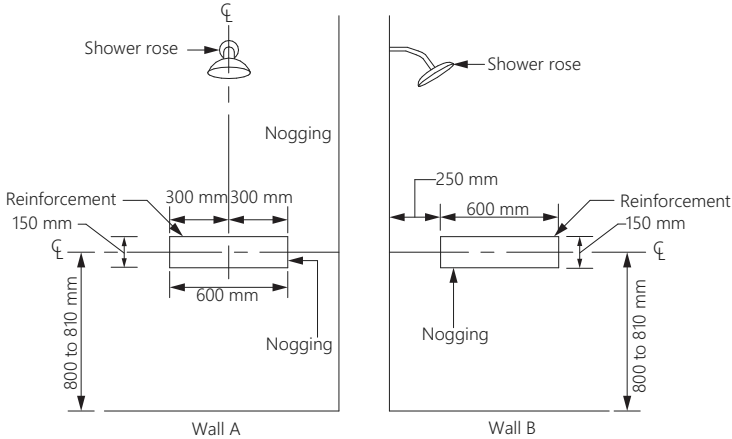
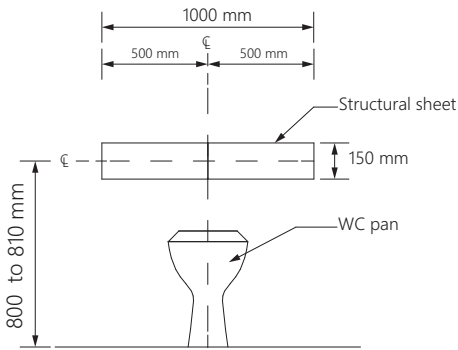


Figure Notes
Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Location of noggings for a wall behind a toilet pan



Location of sheeting for walls surrounding a bath

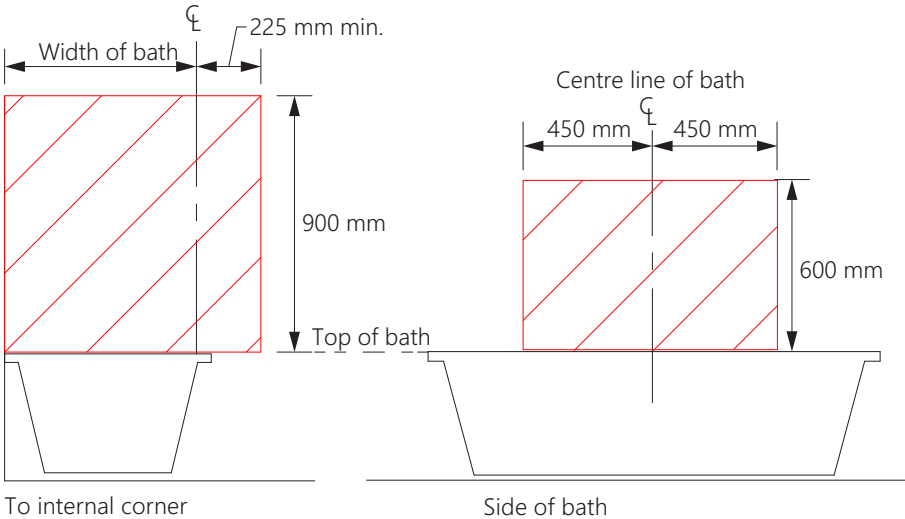


Figure Notes
(1) Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Location of sheeting for shower walls

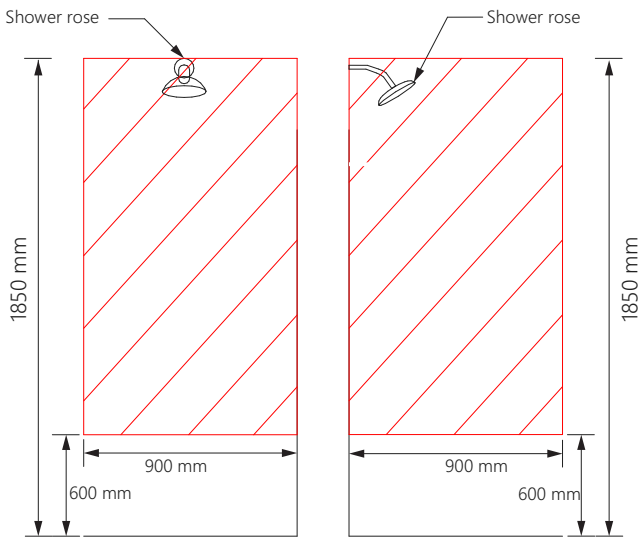


Figure Notes
Taps, bath niches, soap holders and the like may be located within the positions designated for wall reinforcing.

Minimum extent of sheeting for wall adjacent to a toilet pan

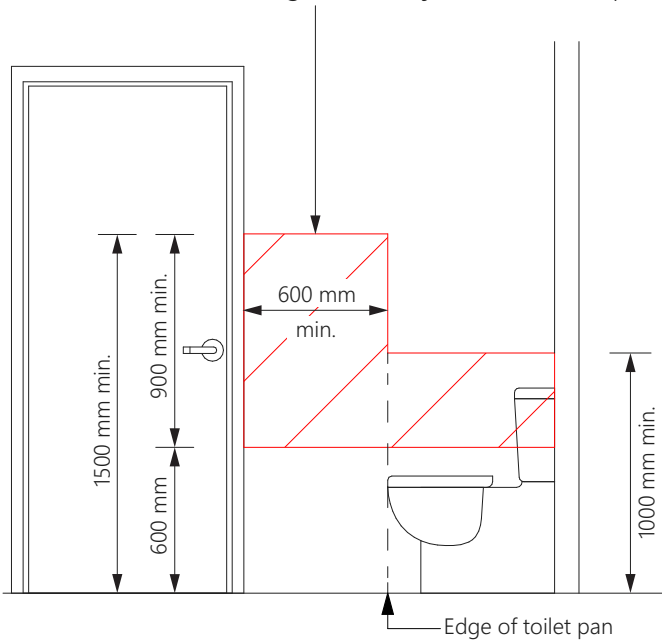


Figure Notes
Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

Location of sheeting for a wall behind a toilet pan

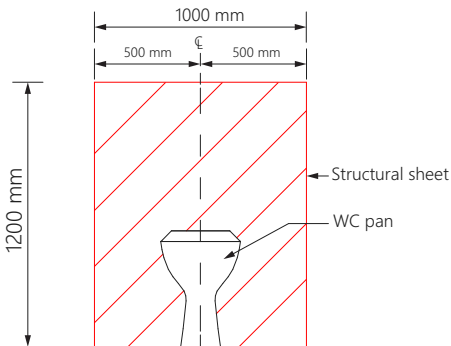


Figure Notes
Minimum extent of structural sheeting clear of any door frame, window frame or wall opening

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BATHROOM DETAILS

CLIENT NAME: CLIENT NAME
PROJECT ADDRESS: ADDRESS, SUBURB
DESIGN TYPE: GLASSHOUSE 32 ""MEREDITH""

BUILT FORM AREAS		
AREA	SQM	SQ
DWELLING	259.02	27.88
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	
SITE COVERAGE:	XX.X%	

REV.	DATE	AMENDMENT/DESIGN RELEASE
REV #	ISSUE DATE	MANUAL TEXT* CONCEPT DESIGN ETC

PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
DATE:	SOIL CLASSIFICATION - "TBC"
11/10/2024	WIND CLASSIFICATION - "TBC"
DRAWN BY: S A	DRAWING NUMBER: 19 OF 21
CHECKED BY:	PRINTED SHEET SIZE: A3

PART 10.2 WET AREA WATERPROOFING

10.2.1 WET AREAS

1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM

2) THE WATERPROOFING SYSTEM IN(1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6

10.2.21 MEMBRANE INSTALLATION FOR SCREED

WHERE SCREED IS USED IN CONJUNCTION WITH A WATERPROOF MEMBRANE, THE WATERPROOF MEMBRANE CAN BE INSTALLED EITHER ABOVE OR BELOW THE TILE BED OR SCREED

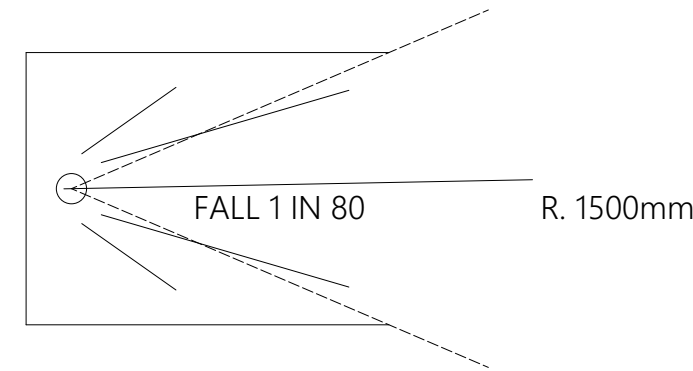
10.2.22 SUBSTRATE SURFACE PREPERATION FOR APPLICATION OF MEMBRANE

WHERE FLOORS FALL TO FLOOR WASTES IN A WET AREA, THE SUBSTRATE IS NOT REQUIRED TO HAVE ANY FALL MUST BE:

- CLEAN AND DUST FREE & - FREE OF INDENTATIONS AND IMPERFECTIONS

10.2.6 WATERPROOFING SYSTEMS

WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS MUST BE NOMINATED IN 10.2.8 MUST BE USED FOR A WATERPROOFING



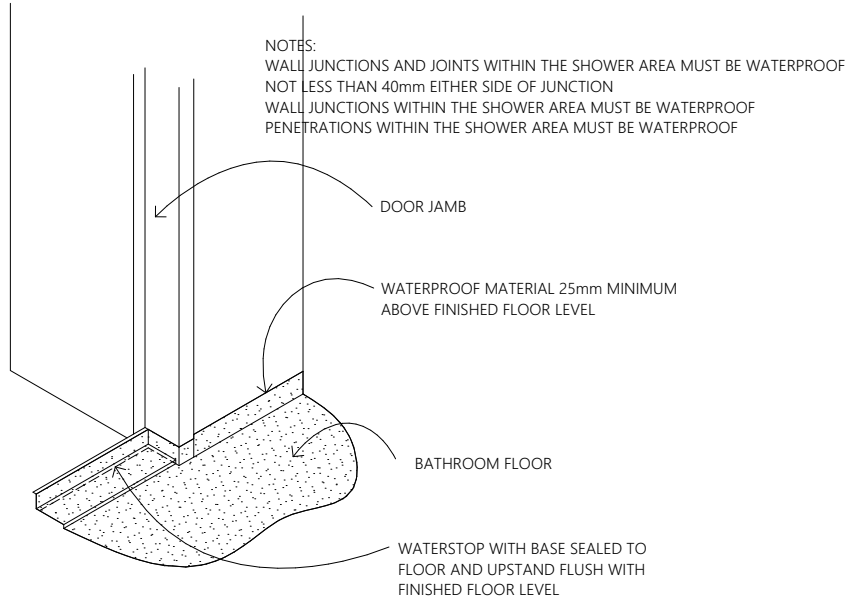
(TYPICAL) CAST-IN SHOWER DETAIL SCALE 1:20

OPEN SHOWERS (INCL. SCREENS AND DOORS) THE FLOOR TO BE GRADED @ 1:80 FALL TO A FLOOR WASTE WITHIN 1500mm FROM THE SHOWER OUTLET

NOTE: PROVIDE ONE HOBLESS AND STEP DOWN SHOWER ON GROUND FLOOR

10.2.2 SHOWER AREA (ENCLOSED AND UNENCLOSED)

FIGURE 10.2.2



TYPICAL BATHROOM DOOR DETAIL

ALL WET AREAS TO BE IN ACCORDANCE WITH BCA 2022 PART 10.2 WET AREA WATERPROOFING

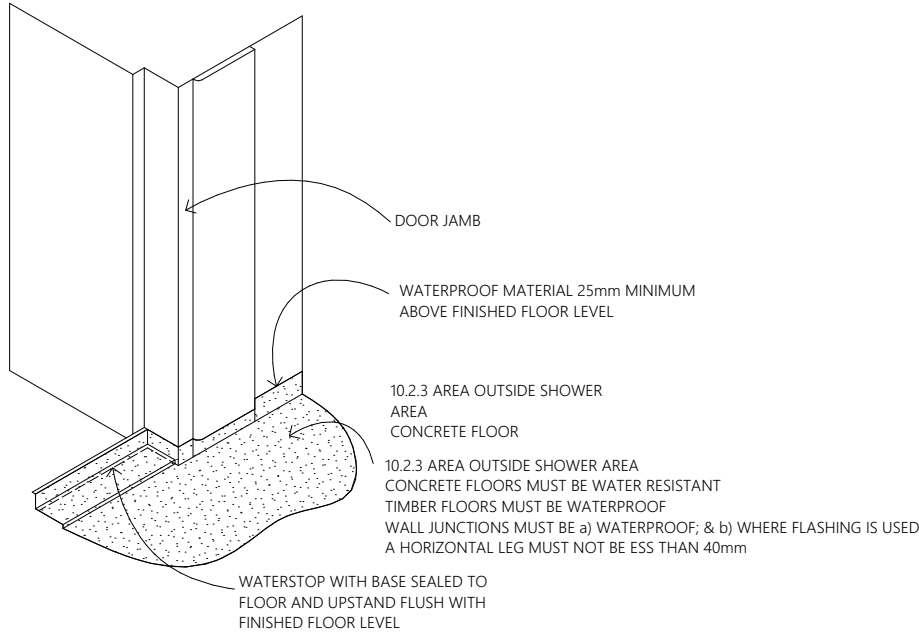
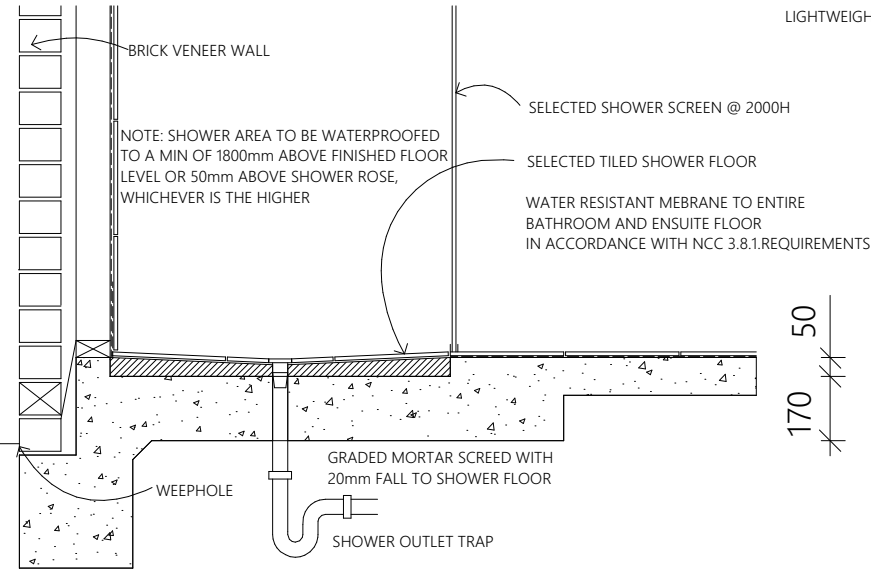


FIGURE 10.2.2

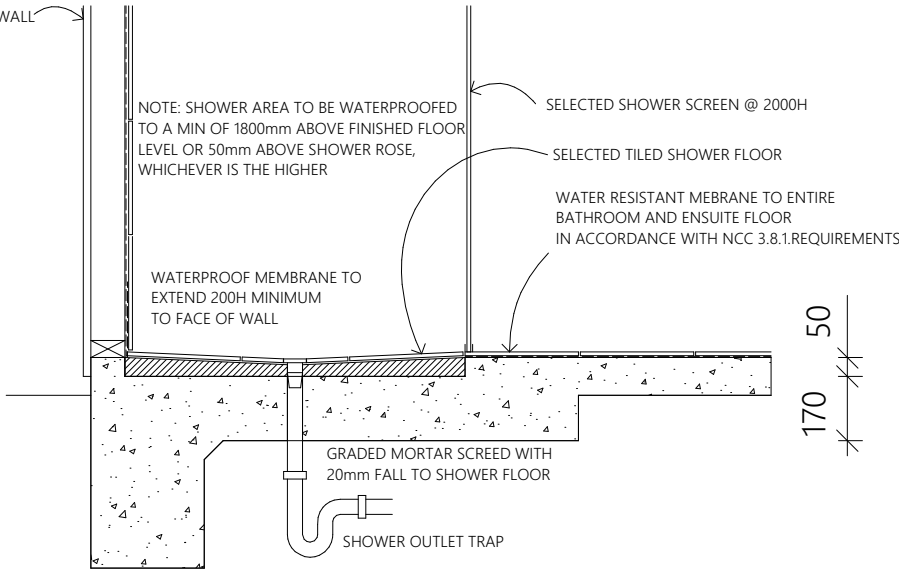
TYPICAL BATHROOM DOOR DETAIL

ALL WET AREAS TO BE IN ACCORDANCE WITH BCA 2022 PART 10.2 WET AREA WATERPROOFING



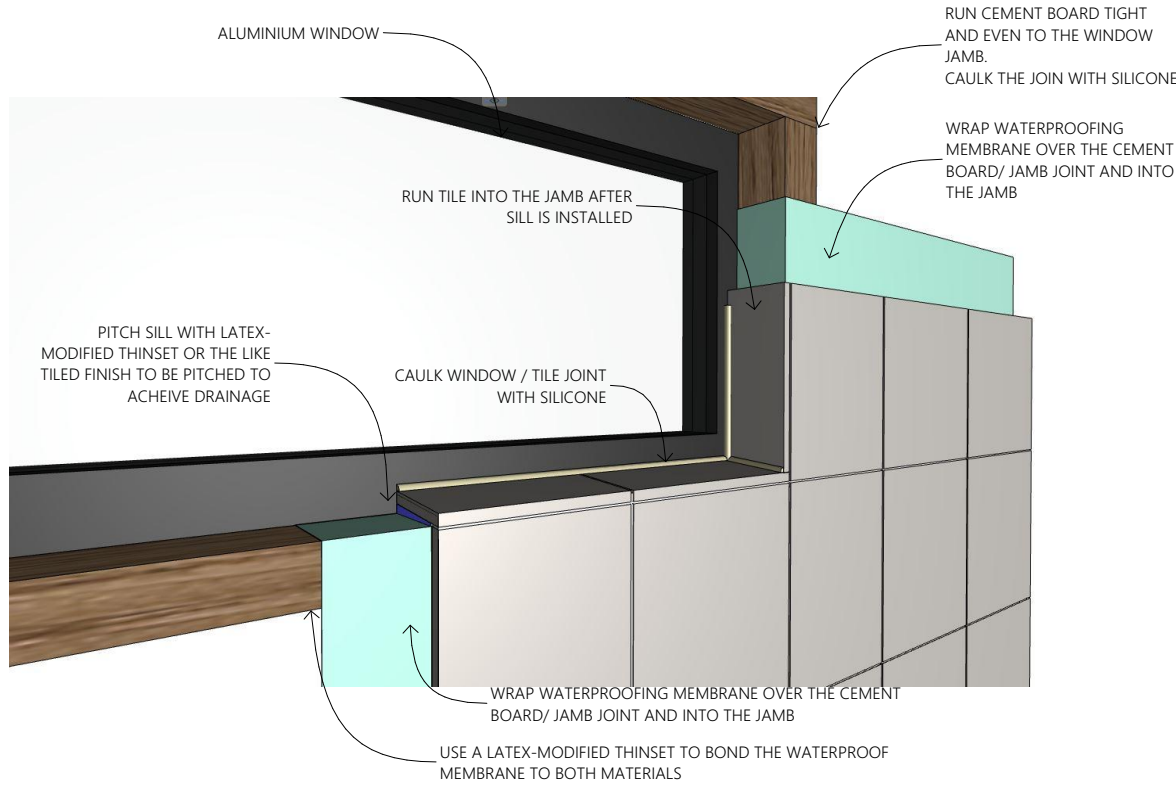
TYPICAL CAST-IN SHOWER DETAIL

ALL WET AREAS TO BE IN ACCORDANCE WITH BCA 2022 PART 10.2 WET AREA WATERPROOFING



TYPICAL CAST-IN SHOWER DETAIL

ALL WET AREAS TO BE IN ACCORDANCE WITH BCA 2022 PART 10.2 WET AREA WATERPROOFING



WATERPROOFING WINDOW IN SHOWER

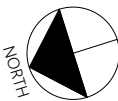
ALL WET AREAS TO BE IN ACCORDANCE WITH BCA 2022 PART 10.2 WET AREA WATERPROOFING

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BATHROOM DETAILS

CLIENT NAME: CLIENT NAME

PROJECT ADDRESS: ADDRESS, SUBURB

DESIGN TYPE: GLASSHOUSE 32 "MEREDITH"

BUILT FORM AREAS		
AREA	SQM	SQ
AREA	259.02	27.88
DWELLING		
GARAGE	38.94	4.19
PORCH	3.69	0.40
TOTAL AREA:	301.65	32.47
SITE AREA:	AREA	
SITE COVERAGE:	XX.X%	

REV.	DATE	AMENDMENT/DESIGN RELEASE	PROJECT NUMBER:	BUSHFIRE RATING - BAL TBC
REV #	ISSUE DATE	MANUAL TEXT* CONCEPT DESIGN ETC	DATE:	SOIL CLASSIFICATION - "TBC"
			11/10/2024	WIND CLASSIFICATION - "TBC"
			DRAWN BY: S A	DRAWING NUMBER: 20 OF 21
			CHECKED BY:	PRINTED SHEET SIZE: A3

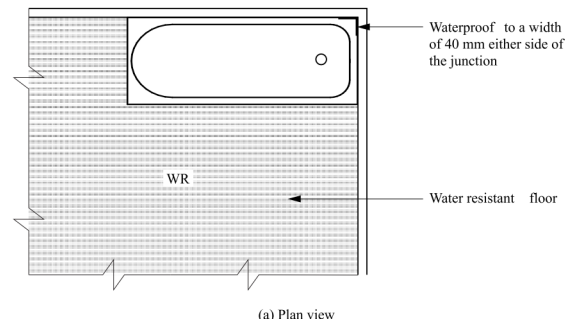


FIGURE 10.2.4a & b AREAS ADJACENT TO BATHS -

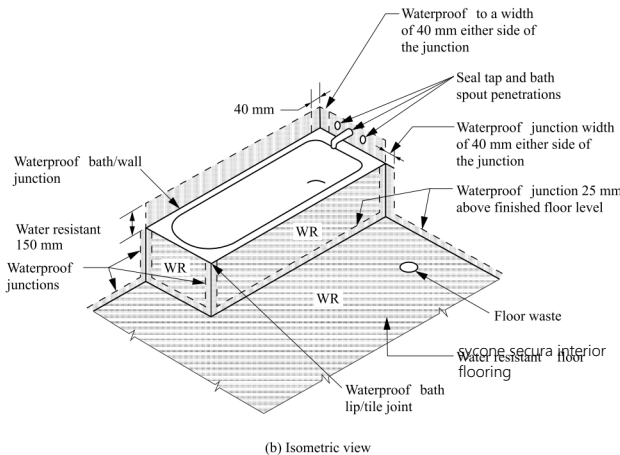


FIGURE 10.2.4a & b AREAS ADJACENT TO BATHS -

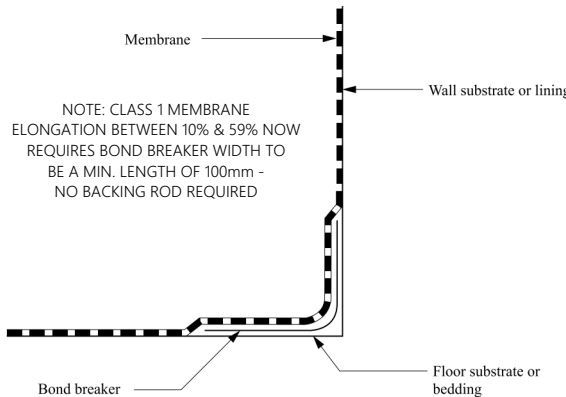


FIGURE 10.2.27 TYPICAL BOND BREAKER DETAIL

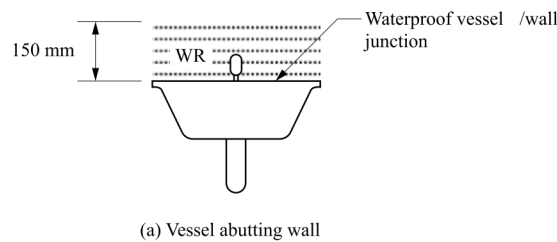


FIGURE 10.2.5 VESSEL ABUTTING WALL -

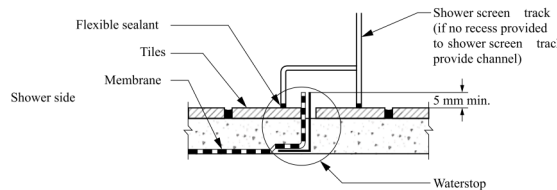


FIGURE 10.2.17 TYPICAL HOBLES CONSTRUCTION

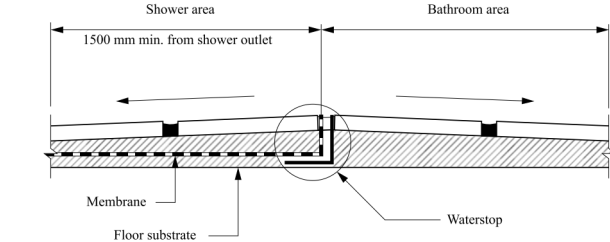


FIGURE 10.2.18 TYPICAL TERMINATION OF MEMBRANE AT EXTENT OF SHOWER AREA

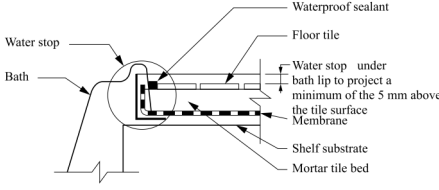


FIGURE 10.2.20 BATH - SHELF JUNCTION

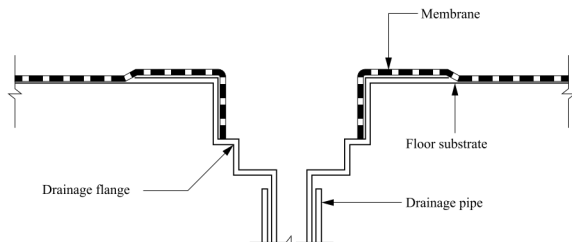


FIGURE 10.2.29 TYPICAL MEMBRANE TERMINATION AT DRAINAGE OUTLET

PART 10.2 WET AREA WATERPROOFING
10.2.1 WET AREAS
1) BUILDING ELEMENTS IN WET AREAS WITHIN A BUILDING MUST BE PROTECTED WITH A WATERPROOFING SYSTEM
2) THE WATERPROOFING SYSTEM IN (1) MUST BE EITHER WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH 10.2.2 TO 10.2.6

10.2.21 MEMBRANE INSTALLATION FOR SCREED
WHERE SCREED IS USED IN CONJUNCTION WITH A WATERPROOF MEMBRANE, THE WATERPROOF MEMBRANE CAN BE INSTALLED EITHER ABOVE OR BELOW THE TILE BED OR SCREED

10.2.22 SUBSTRATE SURFACE PREPARATION FOR APPLICATION OF MEMBRANE
WHERE FLOORS FALL TO FLOOR WASTES IN A WET AREA, THE SUBSTRATE IS NOT REQUIRED TO HAVE ANY FALL MUST BE:
- CLEAN AND DUST FREE & - FREE OF INDENTATIONS AND IMPERFECTIONS

10.2.6 WATERPROOFING SYSTEMS
WATERPROOFING SYSTEM REQUIRED TO BE WATERPROOF IN ACCORDANCE WITH 10.2.2 TO 10.2.5, THE MATERIALS MUST BE NOMINATED IN 10.2.8 MUST BE USED FOR A WATERPROOFING

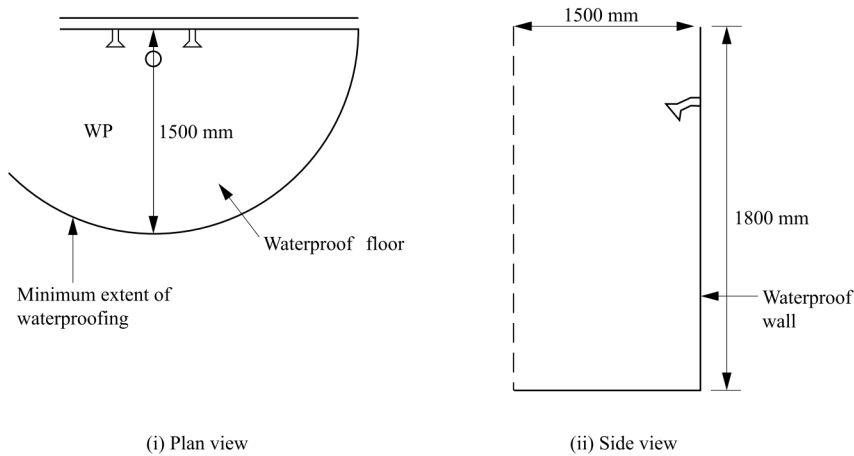


FIGURE 10.2.2(b) UNENCLOSED SHOWER